

RESOLUTION No. 23-187

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR ABC LIQUORS, INC., FOR THE PROPERTY LOCATED AT 8050 NW 36 STREET, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for Mayor and City Council site plan review and approval; and

WHEREAS, ABC Liquors Inc., (the "Applicant") is seeking site plan approval to redevelop the east portion of the parcel located at 8050 NW 36 Street, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3027-001-0091 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on April 6, 2023, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council on October 18, 2023, during which all interested persons were afforded the opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

WHEREAS, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended

conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted, subject to the conditions described herein.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan for ABC Liquors, Inc., for the property located at 8050 NW 36 Street, further identified by a portion of folio number 35-3027-001-0091, as legally described in "Exhibit A." The site plan consists of a ±12,460 square foot two-story alcohol package store and a copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the City of Doral approving an amendment to the City's Comprehensive Plan Future Land Use Map (FLUM) from Office-Residential and Business to solely Business to ensure consistency with the Corridor Commercial zoning district, and the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled “ABC Liquors Inc. – ABC Store No. 054,” prepared by Design Construction International, LLC, dated stamped received April 21, 2023.
2. The Project shall be landscaped in accordance with the landscape plan, digitally signed by James D. Brown, RLA, dated stamped received April 21, 2023, as amended, and included with the site plan submittal.
3. The Public Works Department recommend approval until satisfactorily addressing the comments below:
 - I. Project will provide a Doral Boulevard Signature Shelter or an approved Miami-Dade County Bus Shelter where the existing bus stop is located on NW 36th Street, while ensuring that it does not affect drivers sight distance on the east driveway due to the curvature of the road.
 - II. Ensure that all proposed landscape does not impact drivers sight distance from the east driveway.
 - III. Any modifications to the proposed driveways approved by the Public Works Department variance will require an update to the traffic study.
4. The Applicant shall comply with Chapter 63, “Green Building Incentives,” of the City’s Land Development Code at the time of building permit.
5. The Applicant shall comply with Chapter 75, “Public Arts Program,” of the City’s Land Development Code at the time of building permit.
6. The Applicant shall comply with the City’s Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City’s Code.
7. The Applicant shall provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
8. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, stormwater and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
9. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 “Noise Ordinance.”

10. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
11. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
12. All applicable local, state, and federal permits must be obtained before commencement of the development.
13. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
14. The Applicant must obtain a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.
15. Failure by the city to timely enforce any of the above conditions does not constitute a waiver of the same and if the applicant, its successors, or assigns, does not perform such conditions within five (5) days after written notice, the city retains the right to stop construction, if necessary, until that condition is met. The City reserves the right to enforce these conditions by issuing a code compliance citation, revoking this resolution, and/or availing itself of any and all remedies available at law or in equity. By acting under this approval, the applicant hereby consents to all these terms and conditions.

Section 4. Effective Date. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Puig-Corve who moved its adoption. The motion was seconded by Vice Mayor Pineyro and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Rafael Pineyro	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Maureen Porras	Not Present at Time of Vote
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 18 day of October, 2023.



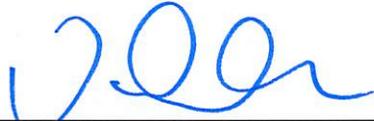
CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



VALERIE VICENTE, ESQ. for
NABORS, GIBLIN & NICKERSON, P.A.
CITY ATTORNEY

EXHIBIT “A”

Folio No. 35-3027-001-0091

8050 – 8080 NW 36th Street Doral, Florida 33166

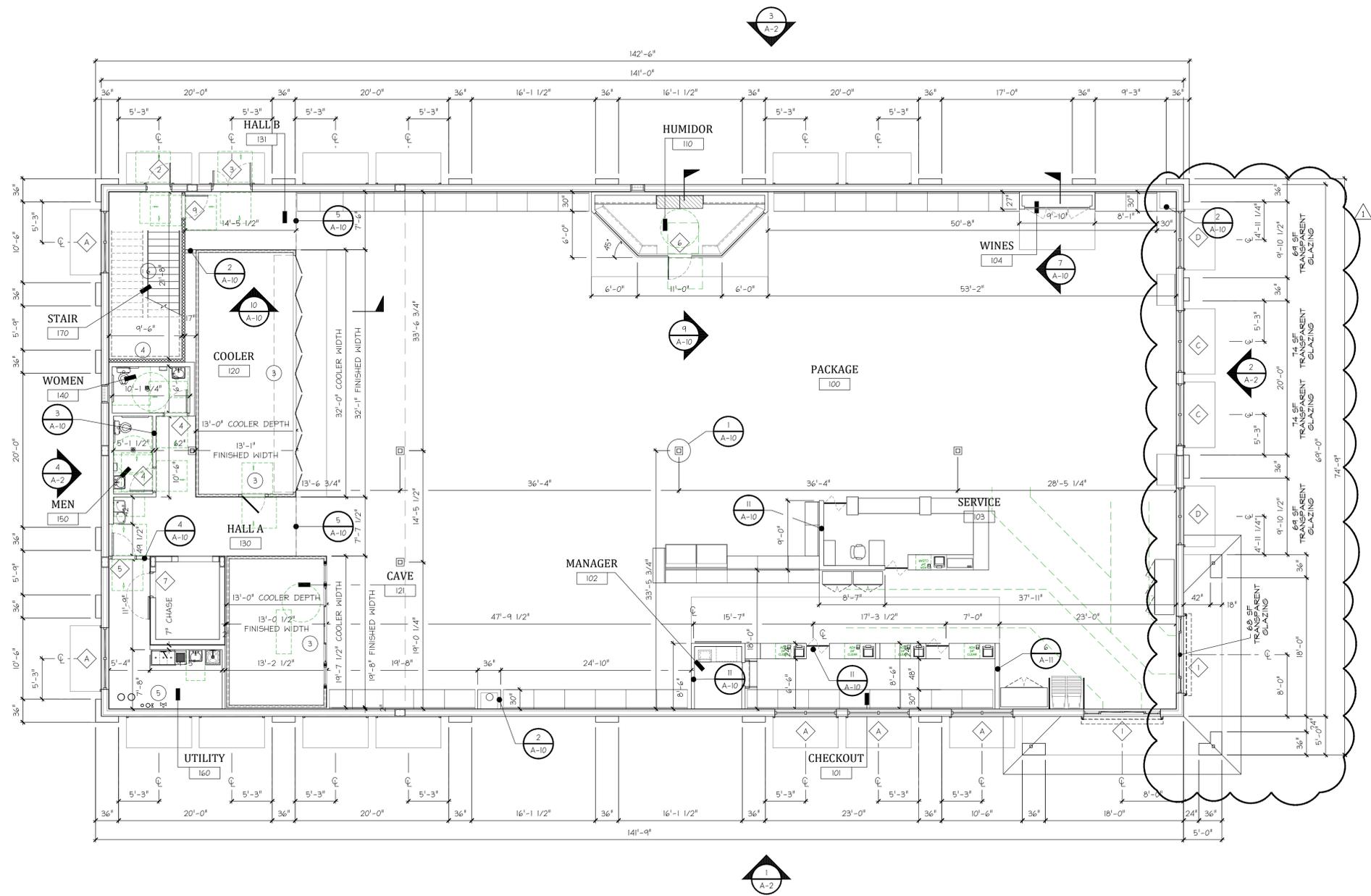
LEGAL DESCRIPTION

That portions of the West ½ of the Tract 14, “FLORIDA FRUIT LANDS COMPANY’S SUBDIVISION NO. 1” in Section 27, Township 53 South, Range 40 East, Miami-Dade County, Florida, according to the Plat thereof, as recorded in Plat Book 2, at Page 17, of the Public Records of Miami-Dade County, Florida, lying South of Northwest 36 Street Extension Right-of-Way, and lying East of a line 353.16 feet East of and parallel with the West line of the Northeast ¼ of Section 27.

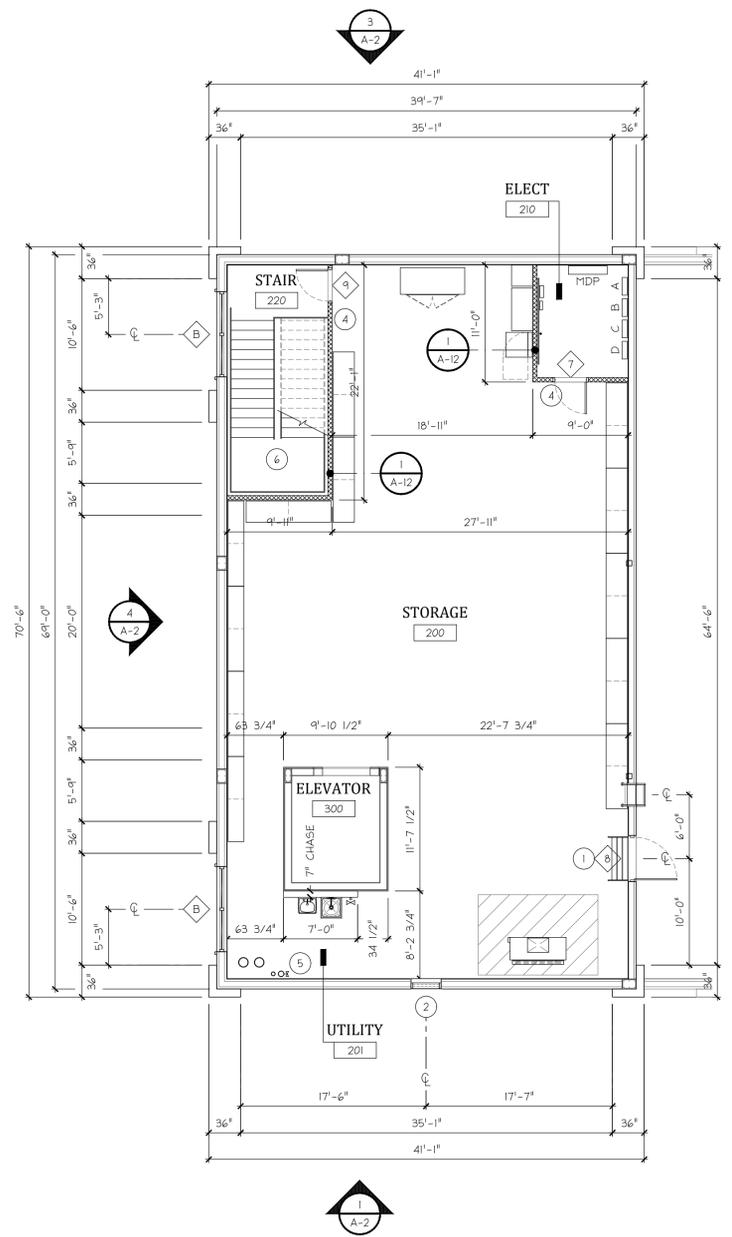
Legal description above is copied from a drawing of ALTA/ACSM LAND TITLE SURVEY, by Hadonne Land Surveyor and Mappers, signed 1/3/22.

EXHIBIT “B”

REVISION	BY
P12 COMMENTS REVISION 4-18-23	S.R.R.



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ROOM	DESCRIPTION	AREA
100	PACKAGE SALES FLOOR	7,443 SF
101	GUEST CHECKOUT	
102	OBSERVATION STAND	
103	SERVICE CENTER	
104	WINES OF DISTINCTION	
110	CIGAR HUMIDOR	137 SF
120	BEVERAGE COOLER	386 SF
121	BEER CAVE	234 SF
130	HALLWAY A	238 SF
131	HALLWAY B	104 SF
140	WOMEN'S TOILET ROOM	56 SF
150	MEN'S TOILET ROOM	52 SF
160	UTILITY ROOM	175 SF
170	STAIR	206 SF
200	STORAGE ROOM	2,105 SF
201	UTILITY AREA	
210	ELECTRICAL ROOM	90 SF
220	STAIR	206 SF
300	ELEVATOR	114 SF

- KEY NOTES**
- DOOR AND SHIPS LADDER PROVIDED FOR ROOF ACCESS. SIGN TO READ "NOT AN EXIT - ROOF ACCESS ONLY"
 - STORM-PROOF LOUVER ALUMINUM CONSTRUCTION AS MANUFACTURED BY RUSKIN OR EQUAL. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - COOLER DOORS AND WINDOWS BY W.I.B.C. MANUF.
 - 1-HR FIRE WALL UL-465, REFER TO SHEET A-12 FOR ADDITIONAL INFORMATION.
 - WATER RISER. LOCATION OF INCOMING WATER LINE FOR FIRE SPRINKLER SYSTEM. REFER TO FIRE SUPPRESSION PLANS FOR ADDITIONAL INFORMATION.
 - REFER TO MANUFACTURER / FABRICATOR SHOP DRAWINGS FOR STAIR DIMENSIONS AND DETAILS.

DOOR

NOTE: ALL DOORS TO BE EQUIPPED WITH APPROVED ADA OPERABLE HANDLES.

QTY	SIZE	DESCRIPTION
1	2	10'-0" x 7'-8" EXTERIOR DOOR - DOUBLE SLIDE WITH EMERGENCY BREAKOUT
2	1	3'-0" x 6'-8" EXTERIOR DOOR - SINGLE OUTSWING EMERGENCY EXIT
3	1	3'-0/2'-0" x 6'-8" EXTERIOR DOOR - DOUBLE OUTSWING EMERGENCY EXIT / LOADING
4	2	3'-0" x 6'-8" INTERIOR DOOR - TOILET ROOM WITH PRIVACY LOCK
5	1	3'-0" x 6'-8" INTERIOR DOOR - UTILITY ROOM
6	1	3'-0" x 6'-8" INTERIOR DOOR - CIGAR HUMIDOR
7	2	3'-0" x 6'-8" INTERIOR DOOR - ELECTRICAL ROOM / ELEVATOR SHAFT. FIRE RATED C LABEL
8	1	4'-0" x 6'-8" EXTERIOR DOOR - ROOF ACCESS
9	2	3'-0" x 6'-8" INTERIOR DOOR - STAIR ENCLOSURE 60 MINUTE FIRE RATED

WINDOW

QTY	SIZE	DESCRIPTION
5	8'-0" x 6'-0"	ARCH ALUMINUM AND GLASS COMPANY SERIES 4500 ALUM
2	8'-0" x 5'-9"	ARCH ALUMINUM AND GLASS COMPANY SERIES 4500 ALUM
2	8'-0" x 9'-3 1/2"	ARCH ALUMINUM AND GLASS COMPANY SERIES 4500 ALUM
2	7'-4 1/2" x 9'-3 1/2"	ARCH ALUMINUM AND GLASS COMPANY SERIES 4500 ALUM

PLAN LEGEND

△	REVISION SYMBOL AND NUMBER
◇	DOOR / WINDOW SYMBOL AND NUMBER. REFER TO SHEET A-13 FOR ADDITIONAL INFORMATION.
⊙	KEY NOTE SYMBOL AND NUMBER
---	EXTERIOR ICF WALL
---	INTERIOR WALL, 1/2" DRYWALL OVER 3 5/8" 20 GAUGE METAL STUDS
▨	1-HR FIRE RATED PARTITION

DESIGN CONSTRUCTION INTERNATIONAL, LLC
A 2 6 0 0 2 1 0 5
VOICE: (407) 504-448
321 Montgomery Rd
Suite # 1609BB
Altamonte Springs, FL 32716
DCI

Cordell Arterbury
Registration # AR001169%

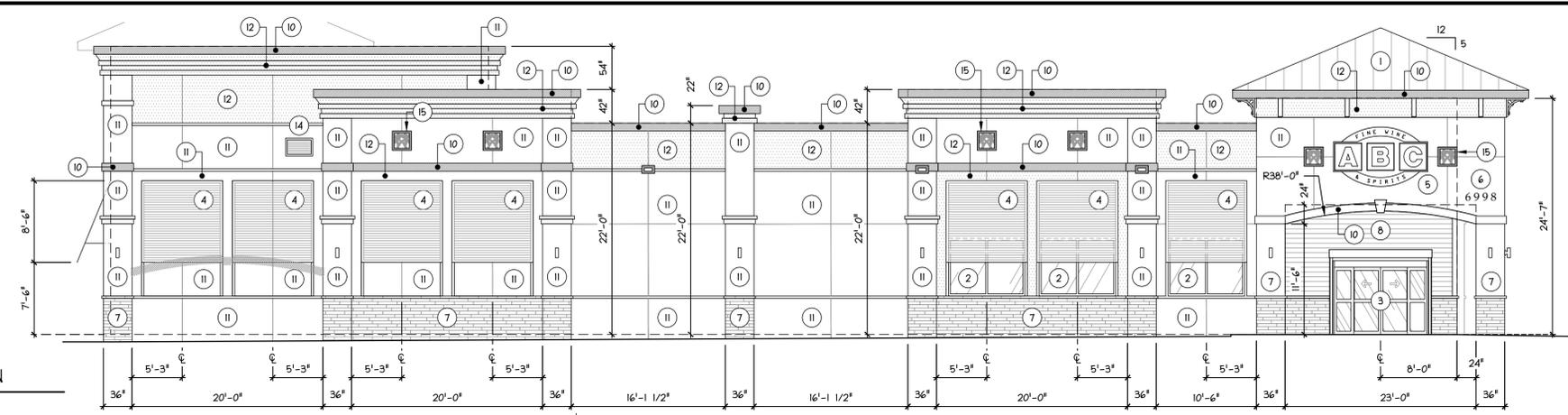
FINE WINE & SPIRITS
ABC LIQUORS INC.
ABC STORE NO. 054
8050-8080 N.W. 36 ST.
DORAL, FL 33166

DRAWN: S.R.R.
CHECKED: C.A.
DATE: 03 / 06 / 2023
SCALE: AS NOTED
JOB No: 054

SHEET
A-1

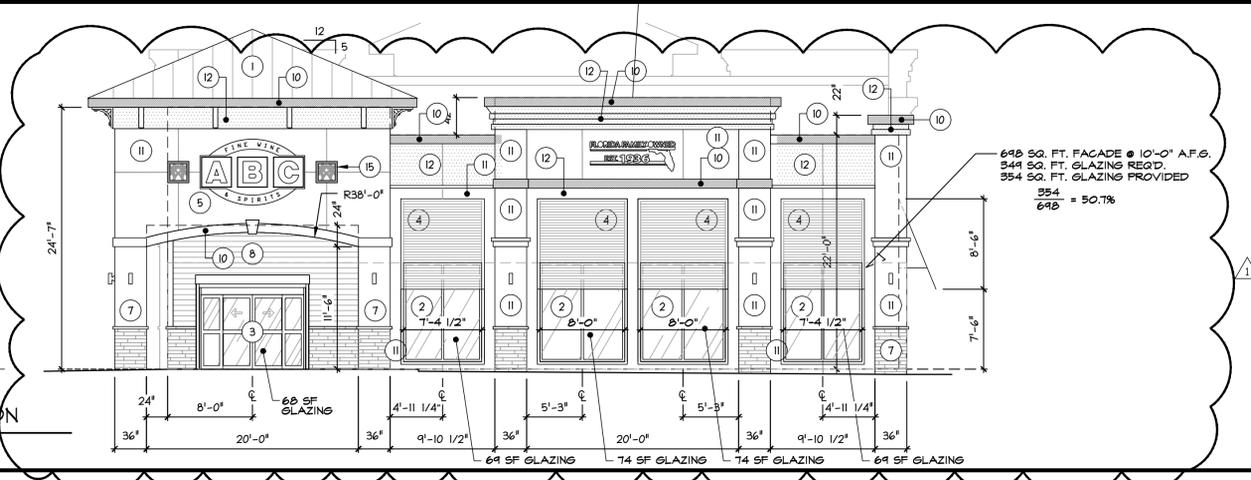
FLOOR PLAN

- ELEV: ±32'-0" TOP OF HIP
- ELEV: 30'-0" TOP OF TOWER
- ELEV: 25'-6" TOP OF TOWER
- ELEV: 22'-0" TOP OF ICF WALL
- ELEV: 18'-6" CENTER OF SIGN
- ELEV: 13'-6" BOTTOM OF HIP SOFFIT
- ELEV: 11'-6" BOTTOM OF ARCH
- ELEV: 4'-0" BOTTOM OF WINDOW
- ELEV: 0'-0" FINISHED FLOOR



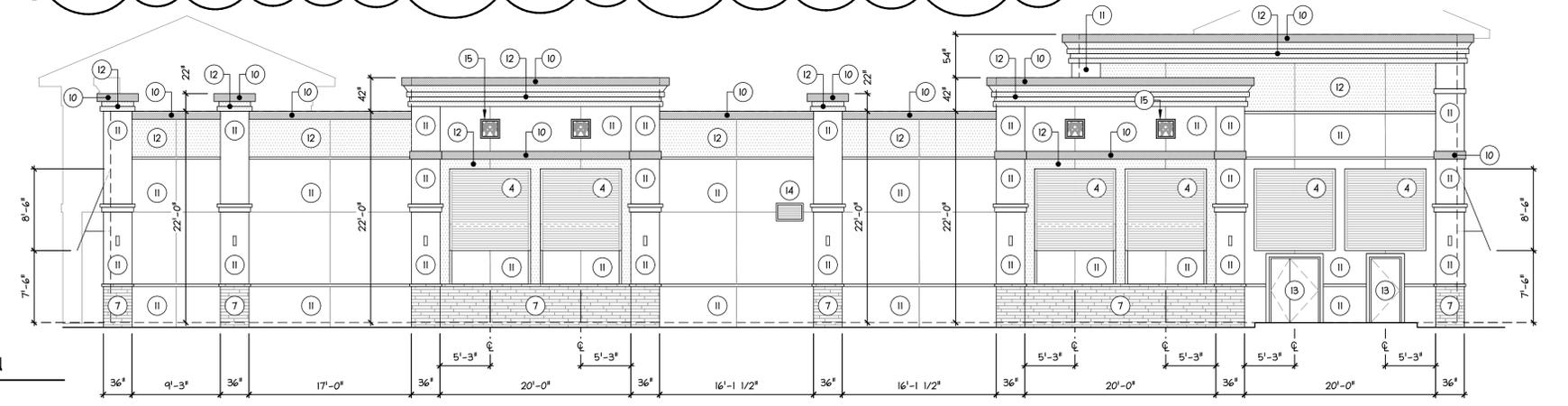
1 EAST FACING ELEVATION
SCALE: 1/8" = 1'-0"

- ELEV: ±32'-0" TOP OF HIP
- ELEV: 25'-6" TOP OF TOWER
- ELEV: 22'-0" TOP OF ICF WALL
- ELEV: 18'-6" CENTER OF SIGN
- ELEV: 13'-6" BOTTOM OF HIP SOFFIT
- ELEV: 11'-6" BOTTOM OF ARCH
- ELEV: 10'-0" TOP OF WINDOW
- ELEV: 8 1/2" BOTTOM OF WINDOW
- ELEV: 0'-0" FINISHED FLOOR



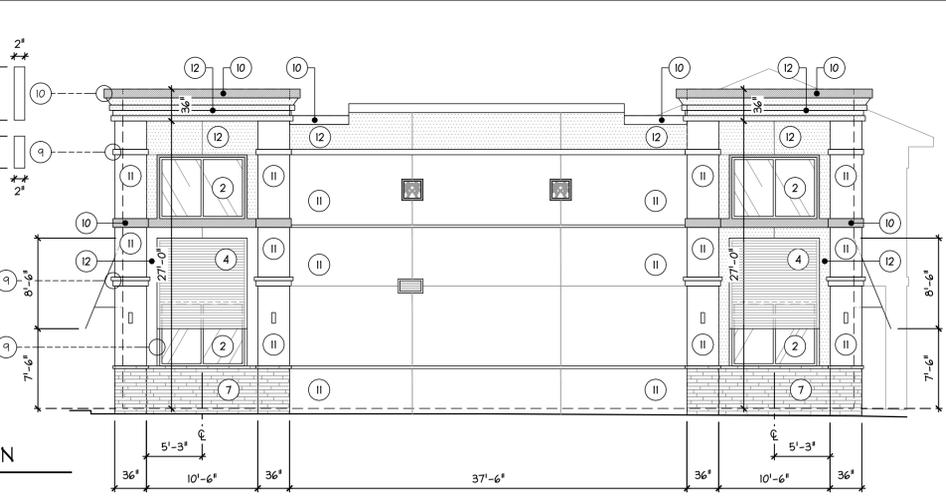
2 NORTH FACING ELEVATION
SCALE: 1/8" = 1'-0"

- ELEV: 30'-0" TOP OF TOWER
- ELEV: 25'-6" TOP OF TOWER
- ELEV: 22'-0" TOP OF ICF WALL
- ELEV: 4'-0" TOP OF BANDING
- ELEV: 0'-0" FINISHED FLOOR



3 WEST FACING ELEVATION
SCALE: 1/8" = 1'-0"

- ELEV: ±37'-0" TOP OF HIP
- ELEV: 30'-0" TOP OF TOWER
- ELEV: 27'-6" TOP OF ICF WALL
- ELEV: 22'-0" CENTER OF SIGN
- ELEV: 17'-10" BOTTOM OF WINDOW
- ELEV: 14'-0" BOTTOM OF ARCH
- ELEV: 4'-0" BOTTOM OF WINDOW
- ELEV: 0'-0" FINISHED FLOOR



4 SOUTH FACING ELEVATION
SCALE: 1/8" = 1'-0"

- ### KEY NOTES
- 1 STANDING SEAM METAL ROOF, ZEE-LOCK W/CONTINUOUS ZEE-RIB AS MANUFACTURED BY BERRIDGE MANUFACTURING. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PRE-FINISHED, "COOPER BROWN".
 - 2 IMPACT RESISTANT ALUMINUM GLAZED STOREFRONT SYSTEM. PRE-FINISHED FRAMES "DARK BRONZE". REFER TO SHEET A-1 FOR ADDITIONAL INFORMATION.
 - 3 AUTO SLIDE DOOR WITH EMERGENCY BREAKOUT TO BE PROVIDED WITH EXTRUDED ALUMINUM ROLL-UP SECURITY SHUTTER. PRE-FINISHED FRAMES "DARK BRONZE" REFER TO SHEET A-1 FOR ADDITIONAL INFORMATION.
 - 4 14 GA PREFINISHED "COOPER BROWN" / "BAHAMA STYLE" AWNING MOUNTED ABOVE STOREFRONT WINDOWS
 - 5 NEW SIGN PROVIDED BY OWNER CENTERED ON WALL
 - 6 6" DIMENSIONAL BLACK LETTERS PIN MOUNTED, 1" OFF FACE OF STONE
 - 7 WALL FINISH TO BE CRIPPLE CREEK STONE VENEER E-Z LAY "ARKANSAS GOLD" W/ CHISELED STONE SILL AT COLUMN AND TOWER BASE AS MANUFACTURED BY ALPHA CONCRETE PRODUCTS, INC.
 - 8 6" TRIM BOARD SIDING W/ A "MAPLE STAIN" FINISH AT EXTERIOR WALL AND UNDERSIDE OF HIP ENTRANCE AS MANUF. BY CERTAINTED
 - 9 EIFS WALL BANDING - DRYVIT SYNTHETIC STUCCO FINISH PAINTED TO MATCH WALL, EGGSHELL FINISH.
 - 10 DRYVIT SYNTHETIC STUCCO FINISH PAINTED "COBBLE BROWN" AS MANUFACTURED BY SHERWIN-WILLIAMS, EGGSHELL FINISH.
 - 11 DRYVIT SYNTHETIC STUCCO FINISH PAINTED "TOTALLY TAN" AS MANUFACTURED BY SHERWIN-WILLIAMS, EGGSHELL FINISH.
 - 12 DRYVIT SYNTHETIC STUCCO FINISH PAINTED "NUT HATCH" AS MANUFACTURED BY SHERWIN-WILLIAMS, EGGSHELL FINISH.
 - 13 EXTERIOR METAL DOORS TO BE PAINTED "NUT HATCH" BY SHERWIN-WILLIAMS. SEE DOOR SCHEDULES ON SHEET A-1 FOR ADDITIONAL INFORMATION.
 - 14 ALL WALL MOUNTED ELECTRICAL EQUIPMENT AND WALL LOUVERS TO BE PAINTED TO MATCH WALL
 - 15 24" X 24" X 1" SQUARE MEDALLION ARCHITECTURAL ORNAMENT AS MANUFACTURED BY PINEAPPLE GROVE DESIGNS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. TO BE CUSTOM PAINTED "NUT HATCH" (FACE) & "TOTALLY TAN" (BACKGROUND) AS MANUFACTURED BY SHERWIN-WILLIAMS, EGGSHELL FINISH. TYP. OF 16 LOCATIONS.

- ### GENERAL NOTES
- 1 SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
 - 2 CONTRACTOR SHALL FIELD VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
 - 3 THE METHOD OF ATTACHMENT WILL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE FLOOR OR CEILING ASSEMBLY TO WHICH IT IS ATTACHED.
 - 4 ALL EXTERIOR PAINTED SURFACES TO RECEIVE DRYVIT SYNTHETIC STUCCO FINISH STYLE "QUARZPUTZ" UNLESS NOTED OTHERWISE.
 - 5 ALL EXTERIOR SURFACES SHALL BE PRIMED PRIOR TO FINAL PAINT APPLICATION.
 - 6 ALL EXTERIOR PAINT SHALL INCLUDE A "MILDEN INHIBITOR".
 - 7 CORNER LATH SHALL BE USED WHERE APPLICABLE.
 - 8 1/4" PLASTIC EXPANSION SHALL BE USED TO ACHIEVE "V-GROOVE" PANEL EFFECT
 - 9 EXTERIOR WINDOWS AND GLASS DOORS SHALL BEAR THE AAMA, WDMA, OR OTHER APPROVED LABEL INDICATING COMPLIANCE WITH ANSI / AAMA / NAWDA 101 / I.S. 2-97 AND PROVIDE DESIGN PRESSURES AS CALCULATED BY THE ARCHITECT OR ENGINEER OF THIS STRUCTURE. PROVIDE INSPECTOR WITH MANUFACTURER'S SHOP DRAWINGS FOR WINDOW INSTALLATION.
 - 10 ALL EXTERIOR METAL DOORS TO BE PAINTED "NUT HATCH" REFER TO DOOR SCHEDULES ON SHEET A-1 FOR ADDITIONAL INFORMATION.
 - 11 EXTERIOR WALLS TO BE PAINTED "TOTALLY TAN" SW-6115 W/ EGG SHELL FINISH AS MANUFACTURED BY SHERWIN WILLIAMS UNLESS NOTED OTHERWISE ON ELEVATIONS.
 - 12 ALL BANDING TO BE PAINTED TO MATCH WALL W/ EGG SHELL FINISH AS MANUFACTURED BY SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.
 - 13 EXTERIOR PARAPET LIGHTING AND PARAPET CAP TO HAVE COPPER BROWN FINISH. TOP BANDING OF PARAPET AND TOWER TO BE PAINTED "COBBLE BROWN" SW-6082 W/ EGG SHELL FINISH AS MANUFACTURED BY SHERWIN WILLIAMS
 - 14 TOP BANDING OF PARAPET AND TOWER TO BE PAINTED "COBBLE BROWN" SW-6082 W/ EGG SHELL FINISH AS MANUFACTURED BY SHERWIN WILLIAMS
 - 15 UPPER PORTION OF EXTERIOR WALL AND MAIN BODY OF TOWER TO BE PAINTED "NUT HATCH" SW-6088 W/ EGG SHELL FINISH AS MANUF. BY SHERWIN WILLIAMS
 - 16 LOWER PORTION OF EXTERIOR WALL (FROM 4'-0" A.F.F. TO GRADE) TO BE PAINTED "TOTALLY TAN" SW-6115 W/ AS MANUF. BY SHERWIN WILLIAMS
 - 17 ALL EXTERIOR COLUMNS TERMINATING AT LANDSCAPING SHALL HAVE A MIN. 2" THICK CONCRETE HOUSE KEEPING PAD
 - 18 ALL CUSTOM SHAPES TO BE FOAM (E.P.S.).
 - 19 SCUPPER HEIGHT TO BE FIELD VERIFIED. REFER TO STRUCTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.

REVISION	BY
1	S.R.R.

DESIGN CONSTRUCTION INTERNATIONAL, LLC

A A 2 6 0 0 2 1 0 5

VOICE: (407) 504-446

321 Montgomery Rd
Suite # 1609EB
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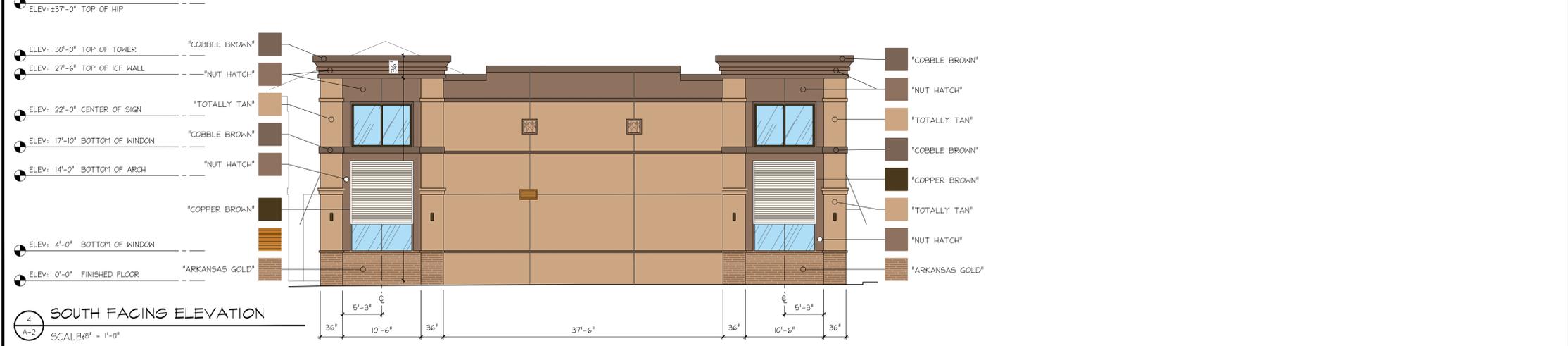
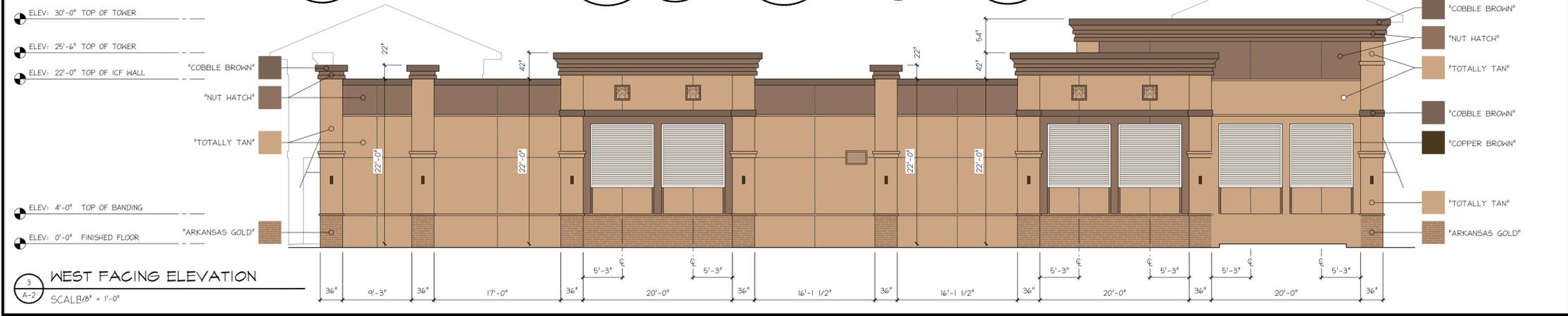
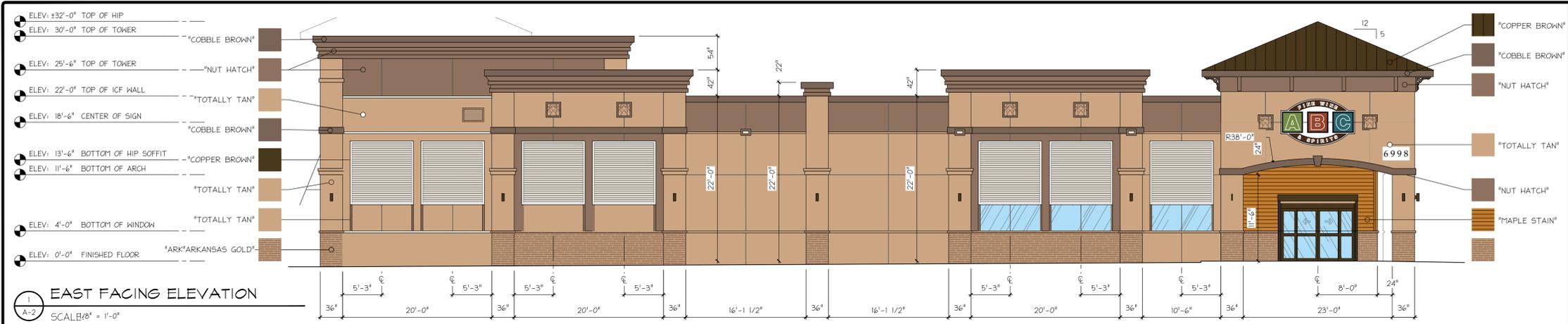
ABC LIQUORS INC.

ABC STORE NO. 054

8050-8080 N.W. 36 ST.
DORAL, FL 33166

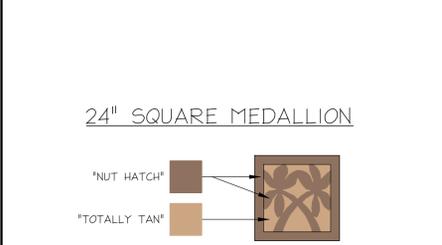
DRAWN: S.R.R.
CHECKED: C.A.
DATE: 03 / 06 / 2023
SCALE: AS NOTED
JOB No: 054
SHEET
A-2

EXTERIOR ELEVATIONS



COLOR NOTES

	BERRIDGE ZEE-LOCK STANDING SEAM METAL ROOF PRE-FINISHED, "COBBLE BROWN".
	14 GA PRE-FINISHED "COBBLE BROWN" "BAHAMA STYLE" AWNING MOUNTED ABOVE STOREFRONT WINDOWS
	CRIPPLE CREEK STONE VENEER E-Z LAY W/ CHISELED STONE SILL FINISH TO BE "ARKANSAS GOLD"
	6" TRIM BOARD SIDING W/ "MAPLE STAIN" FINISH AT EXTERIOR WALL AND UNDERSIDE OF HIP ENTRANCE
	DRYVIT SYNTHETIC STUCCO EGGSHELL FINISH PAINTED SW6082 "COBBLE BROWN"
	DRYVIT SYNTHETIC STUCCO EGGSHELL FINISH PAINTED SW6115 "TOTALLY TAN"
	EXTERIOR METAL DOORS AND EQUIPMENT PAINTED SW6088 "NUT HATCH"
	6" DIMENSIONAL BLACK LETTERS PIN MOUNTED, 1" OFF FACE OF STONE



REVISION BY

REVISION	BY
1	S.R.R.
2	S.R.R.
3	S.R.R.
4	S.R.R.
5	S.R.R.

DESIGN CONSTRUCTION INTERNATIONAL, LLC
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321 Montgomery Rd
Suite # 1609B
Altamonte Springs, FL 32716

VOICE: (407) 504-448

DCI

Cordell Arterbury
Registration # AR00116%

ABC LIQUORS INC.
ABC STORE NO. 054
8050-8060 N.W. 36 ST.
DORAL, FL 33166

EXTERIOR COLOR ELEVATIONS

DRAWN: S.R.R.
CHECKED: C.A.
DATE: 03 / 06 / 2023
SCALE: AS NOTED
JOB No: 054
SHEET
A-2.1

ABC FINE WINE & SPIRITS STORE 54B

8050 NW 36TH STREET
CITY OF DORAL
MIAMI-DADE COUNTY, FLORIDA
SITE PLANS

	BY
△ CITY 2ND REVIEW COMMENTS	CKS/JOB
△ CITY 2ND REVIEW COMMENTS	CKS/JOB



SECTION 27, TOWNSHIP 53S, RANGE 40E

LEGAL DESCRIPTION

PARENT PARCEL:
THAT PORTION OF THE WEST 1/4 OF TRACT 14, FLORIDA FRUITLAND CO'S SUBDIVISION NO. 1 IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI DADE COUNTY, FLORIDA ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, AT PAGE 17, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTH OF NORTHWEST 38 STREET EXTENSION RIGHT-OF-WAY, AND LYING EAST OF A LINE 353.16 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 27.
THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 1.85 ACRES MORE OR LESS.

UTILITY PROVIDERS

WASTEWATER/WATER/REUSE:
MIAMI-DADE COUNTY
WATER AND SEWER DEPT
3071 SW 38TH AVENUE
MIAMI, FL 33146
PHONE: 305-665-7477

TELEPHONE
AT&T
5241 NW 87th AVE, STE 105 BLDG D
DORAL, FL 33178
PHONE: 305-794-4966

ELECTRIC:
FLORIDA POWER & LIGHT - DADE
6195 NW 85th AVE
MIAMI, FL 33166
PHONE:

SOLID WASTE:
WASTE PRO USA
3705 ST JOHNS PKWY
LAKE MARY, FL 32771
PHONE: 407-774-0800

CABLE:
COMCAST
9251 W FLAGLER STREET STE 104
MIAMI, FL 33174
PHONE: 800-934-6489

GAS:
FLORIDA CITY GAS
4045 NW 97th STREET
DORAL, FL 33178
PHONE: 888-248-9427

PROJECT TEAM

OWNER:
LANDWIRTH REALTY, LLC
5461 NE 205th AVE.
WILLISTON, FL 32696
PHONE: 415-505-7707
CONTACT: DONALD LANDWIRTH

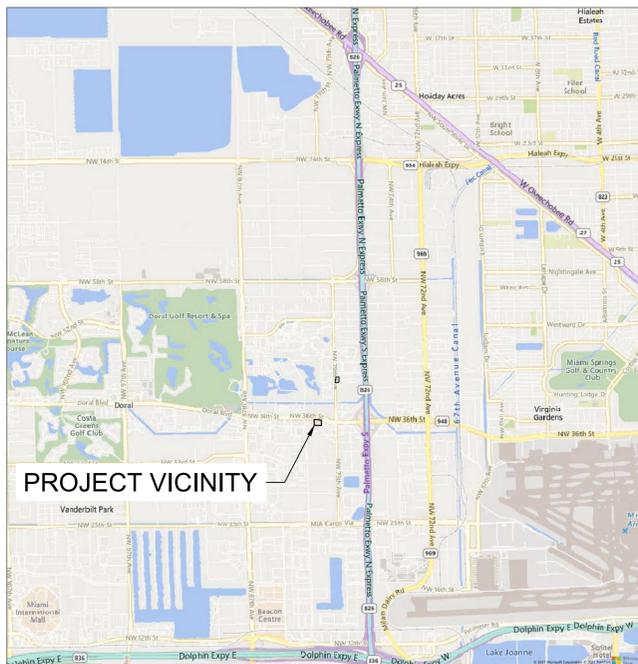
DEVELOPER:
ABC LIQUORS, INC.
8989 S. ORANGE AVENUE
ORLANDO, FL 32724
PHONE: 407-851-0000
CONTACT: PHYLLIS FITZPATRICK

CIVIL ENGINEER:
KPM FRANKLIN
6300 HAZELTINE NATIONAL DRIVE
SUITE 118
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PHONE: 407-410-8624
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LANDSCAPE ARCHITECT:
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CONTACT: JAMES D. BROWN, R.L.A.

ARCHITECT
DESIGN CONSTRUCTION
INTERNATIONAL, LLC
321 MONTGOMERY RD., STE 160958
ALTAMONTE SPRINGS, FL 32716
PHONE: 407-504-4489
CONTACT: CORDELL ARTERBURY

SURVEYOR:
HADONNE CORP.
1985 NW 88th COURT, STE 101
DORAL, FL 33172
PHONE: 305-266-1188
CONTACT: ABRAHAM HADAD, P.S.M



VICINITY MAP
SCALE: 1" = 4000'



LOCATION MAP
SCALE: 1" = 500'



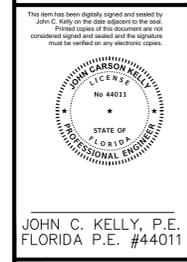
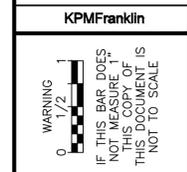
PREPARED FOR:

ABC LIQUORS, INC.

DEVELOPER:
ABC LIQUORS, INC.
8989 S. ORANGE AVE.
ORLANDO, FL 32824
(407) 851-0000
www.abcfws.com

SHEET INDEX

SHEET	TITLE
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C3.0	BOUNDARY AND TOPOGRAPHIC SURVEY DATA
C4.0	DEMOLITION PLAN
C5.0	GEOMETRY PLAN
C5.1	INTERSECTION SIGHT DISTANCE ANALYSIS
C6.0	UTILITIES AND DRAINAGE PLAN
C6.1	TRUCK MOVEMENT PLAN
C7.0	PAVING AND GRADING PLAN
C7.1	CROSS SECTIONS
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C9.0-C9.1	SITE DEVELOPMENT DETAILS
T1	VEGETATION SURVEY AND TREE MITIGATION PLAN
L1	LANDSCAPE PLAN
L2	PLANT LIST, DETAILS & CALCULATIONS
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L4	IRRIGATION PLAN
L4.1-L4.4	IRRIGATION SCHEDULES, DETAILS, INSTALLATION SPEC'S
SL-1	SITE LIGHTING

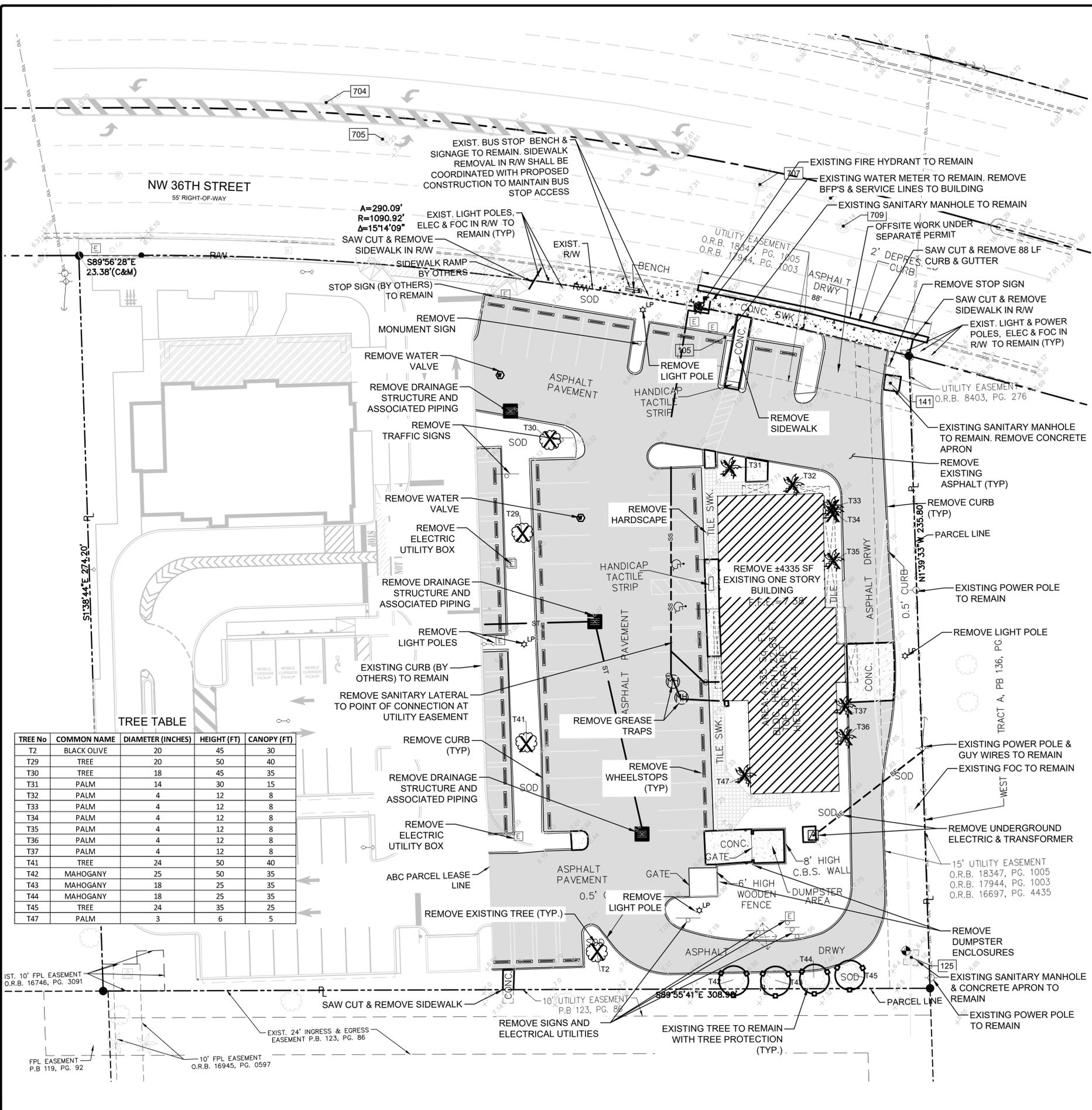


ABC LIQUORS INC.
8989 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

DRAWN:	CKS
CHECKED:	JCK
DATE:	MAR., 2023
SCALE:	
JOB No:	21-0111.000
SHEET:	C1.0

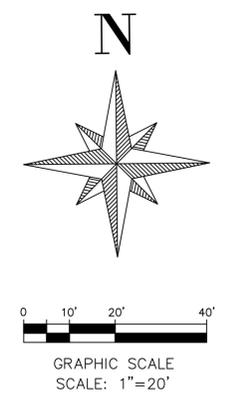
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△			
△			
△			

COVERSHEET



UTILITY STRUCTURE TABLE

NO.	STRUCTURE	RIM	DIRECTION	INVERT	DESCRIPTION
105	MHS	7.22	N	-2.38	8" CLAY
			E	-2.08	8" CLAY
125	MHS	6.40	N	-0.50	8" CLAY
			S	-0.25	
141	MHS	7.59	S	-1.66	8" CLAY
			W	-1.83	8" CLAY
486	CB	5.79	S	3.19	15" ALUMINIUM
			BOTTOM	2.79	
503	CB	6.07	W	3.70	15" ALUMINIUM
			BOTTOM	3.27	
564	CB	6.05	NW	2.90	12" CONCRETE
			BOTTOM	1.40	
704	MHS	7.15			TRAFFIC
705	MHD	7.23			TRAFFIC
707	MHS	7.21	E	-2.79	TRAFFIC
			S	-2.69	8" CLAY
			W	-2.64	8" CLAY
708	MHD	7.21			TRAFFIC
709	MHD	7.14			TRAFFIC



- LEGEND:**
- REMOVE EXISTING BUILDING
 - REMOVE EXISTING ASPHALT
 - REMOVE EXISTING TREE. SEE SHEET L1
 - EXISTING TREE TO REMAIN
 - TREE PROTECTION BARRIER

DEMOLITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND DRAINAGE SYSTEMS PRIOR TO COMMENCEMENT OF DEMOLITION AND NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE DRAWINGS.
- ELEVATIONS SHOWN ARE BASED ON NGVD 1929 VERTICAL DATUM PER TOPOGRAPHIC SURVEY PREPARED BY HADONNE CORP.
- CONTRACTOR SHALL CALL 811 OR 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO DEMOLITION.
- CONTRACTOR SHALL SOD (ARGENTINA BAHIA) ALL AREAS IN ALL RIGHT-OF-WAYS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING F.D.E.P. PERMIT FOR ANY DEWATERING OPERATIONS.
- ALL SILT FENCING AND TREE PROTECTION MUST BE INSTALLED BEFORE PERMITS WILL BE ISSUED.
- ON-SITE PRE CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO ISSUANCE OF SITE PERMIT.
- MAINTENANCE OF TRAFFIC PLAN TO BE PROVIDED BY CONTRACTOR AND APPROVED BY CITY OF DORAL PRIOR TO ANY WORK IN RIGHT-OF-WAY. ALL MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH INDEX 102 (OLD 600) SERIES OF F.D.O.T. 2022 DESIGN STANDARDS.
- CONTRACTOR'S LICENSED SURVEYOR SHALL PROVIDE TWO (2) TEMPORARY SITE BENCHMARKS.
- CITY OF DORAL RIGHT-OF-WAY PERMIT REQUIRED PRIOR TO INITIATING ANY WORK WITHIN CITY RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CITY RIGHT-OF-WAY USE PERMITS FOR NW 36th STREET.
- ALL CUTTING AND CAPPING OF EXISTING UTILITIES SERVICES SHALL BE PERFORMED BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH CITY OF DORAL UTILITIES TO INITIATE CUT & CAP.
- DEMOLITION OF EXISTING BUILDING REQUIRES SEPARATE PERMIT.
- CONTRACTOR SHALL REMOVE ANY OTHER WATER SERVICE LINES ON PROPERTY THAT MAY NOT BE SHOWN ON THE PLANS, UNDER CITY OF DORAL UTILITIES DEPARTMENT INSPECTION.

GREASE TRAP ABANDONMENT NOTES:

- EXISTING GREASE TRAP STRUCTURES SHALL ONLY BE REMOVED BY A LICENSED SEPTIC CONTRACTOR.
- PRIOR TO REMOVAL, EXISTING TANK SHALL BE PUMPED BY A REGISTERED PUMPING CONTRACTOR AND RECEIPT SHALL BE PROVIDED TO MIAMI-DADE COUNTY HEALTH DEPARTMENT.
- CONTRACTOR SHALL CALL MIAMI-DADE COUNTY HEALTH DEPARTMENT FOR INSPECTION AFTER TANK IS REMOVED BUT 24 HOURS PRIOR TO ANY BACKFILLING OF PIT.

TREE TABLE

TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)
T2	BLACK OLIVE	20	45	30
T29	TREE	20	50	40
T30	TREE	18	45	35
T31	PALM	14	30	15
T32	PALM	4	12	8
T33	PALM	4	12	8
T34	PALM	4	12	8
T35	PALM	4	12	8
T36	PALM	4	12	8
T37	PALM	4	12	8
T41	TREE	24	50	40
T42	MAHOGANY	25	50	35
T43	MAHOGANY	18	25	35
T44	MAHOGANY	18	25	35
T45	TREE	24	35	25
T47	PALM	3	6	5

REVISIONS

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB



WARNING
 1/2
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JOHN C. KELLY, P.E.
 FLORIDA P.E. #44011



ABC LIQUORS INC.
 8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
 8050 NW 36 STREET
 DORAL, FL 33166

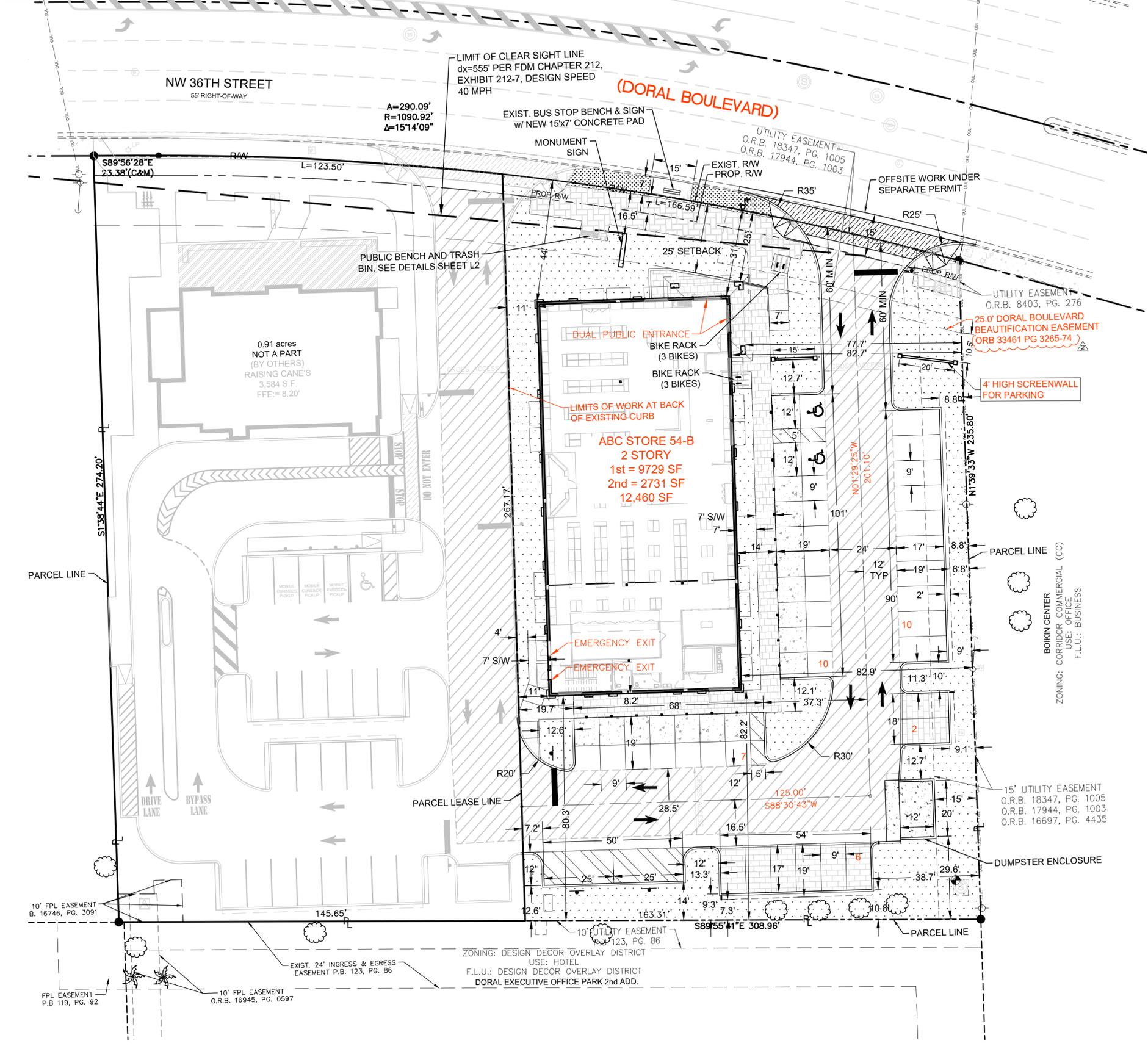
DEMOLITION PLAN

DRAWN: CKS
 CHECKED: JCK
 DATE: MAR., 2023
 SCALE: 1"=20'(22x34)
 SCALE: 1"=40'(11x17)
 JOB No: 21-0111.000
 SHEET:

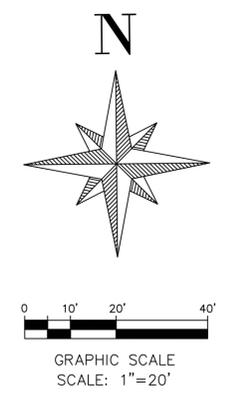
C4.0

P:\ABC\FWS\ABC_Store_054B_Doral\03-Plans\04-C_054b_DEMO-22x34.dwg Plotted: Apr. 19, 2023 3:06pm by RColbreath

FDOT CLEAR SIGHT NOTE:
 LIMIT OF CLEAR SIGHT SHALL BE IN ACCORDANCE WITH 2022 FDOT DESIGN MANUAL (F.D.M.) 212. LIMITS OF CLEAR SIGHT SHOWN ON THIS DRAWING ARE BASED ON F.D.M. EXHIBIT 212-7, SIGHT DISTANCE FOR 6-LANE DIVIDED, PASSENGER VEHICLE TABLE, DESIGN SPEED 40 MPH. POSTED SPEED LIMIT IS 40 MPH.



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL HANDICAP PARKING AND ACCESSIBLE MEANS OF EGRESS MUST COMPLY WITH THE "DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7th EDITION.
 3. DETECTABLE WARNINGS NOT REQUIRED ON-SITE. SEE PLANS FOR DETECTABLE WARNINGS LOCATIONS IN RIGHTS-OF-WAYS.
 4. ALL PROPOSED ON-SITE SIGNAGE SHALL BE APPROVED AND PERMITTED UNDER SEPARATE PERMIT(S).
 5. RIGHT-OF-WAY USE PERMIT REQUIRED FOR WORK IN N.W. 36th STREET (DORAL BOULEVARD) RIGHT-OF-WAY.



LEGAL DESCRIPTION (OVERALL BOUNDARY):
 THAT PORTIONS OF THE WEST 1/2 OF THE TRACT 14, "FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1" IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI DADE COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTH OF NORTHWEST 36 STREET EXTENSION RIGHT-OF-WAY, AND LYING EAST OF A LINE 353.16 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 27.

SITE DATA (EAST PARCEL ONLY):

ADDRESS: 8050 NW 36 ST. DORAL, FL 33166
 PROPERTY RE #: 35-3027-001-0091 (PORTION OF)
 EXISTING ZONING: COMMERCIAL CORRIDOR (CC)
 F.L.U.: OFFICE
 FLOOD ZONE: ZONE 'X' & ZONE 'AH' (EL. 7) (FIRM PANEL 287)
 BASE FLOOD ELEV.: ELEV. 7.0 (NGVD29)
 EXISTING USE: RESTAURANT
 PROPOSED USE (ABC): RETAIL STORE (PACKAGE ALCOHOL SALES)
 PROPOSED OCCUPANCY (ABC): GROUP M (MERCHANTILE)
 PARCEL LEASE AREA: 0.95 ACRES (±41,290 SQ. FT.)
 OPEN SPACE: 11,121 SF (26.9%)
 PERVIOUS AREA: 11,337 SF (27.5%)
 IMPERVIOUS AREA: 29,953 SF (72.5%)

BUILDING DATA:

ABC BUILDING AREA: 12,460 SF PROPOSED
 BUILDING FLOOR: TWO STORY (PROPOSED)
 1st FLOOR= 9729 SF; 2nd FLOOR= 2731 SF
 F.A.R.. REQUIRED: MAX ALLOWED=0.50 1st FLOOR/0.25 2nd FLOOR
 F.A.R.. PROVIDED: 0.24/0.07 (1st FLOOR/2nd FLOOR)
 BUILDING HEIGHT: 2 STORY MAX. ALLOWED RESTRICTED COVENANTS
 35' MAX. PROPOSED BLDG. HEIGHT
 FINISH FLOOR ELEVATION: ELEV. 8.40 (NGVD29)

PARKING DATA:

REQUIRED PARKING: 1 SPACE / 250 SF GFA RETAIL USE
 1 SPACE / 300 SF GFA OFFICE USE
 RETAIL: 9729 / 250 = 39 SPACES
 OFFICE: 2731 / 300 = 9 SPACES
 = 48 SPACES
 PROVIDED PARKING: 33 STANDARD SPACES (9'x19')
 2 HANDICAP SPACES (12'x19')
 35 TOTAL SPACES ON-SITE
 PARKING VARIANCE REQUEST: 13 STANDARD SPACES (9'x19')
 BICYCLE PARKING: 6 SPACES PROVIDED

SETBACKS:

	BUILDING REQUIRED:	BUILDING PROVIDED:	LANDSCAPE (PROVIDED):
FRONT (NORTH)	25 FT*	25 FT*	25 FT*
INTERIOR SIDE: (WEST)	5 FT	11.0 FT	6.3 FT
INTERIOR SIDE: (EAST)	5 FT	77.7 FT	6.8 FT
REAR (SOUTH):	5 FT	80.3 FT	7.3 FT

(*) DORAL BLVD URBAN DISTRICT

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JOB
CITY 2ND REVIEW COMMENTS	CKS/JOB



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JOHN C. KELLY, P.E. FLORIDA P.E. #44011



ABC LIQUORS INC.
 8899 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
 8050 NW 36 STREET DORAL, FL 33166

GEOMETRY PLAN
 DRAWN: CKS
 CHECKED: JCK
 DATE: MAR., 2023
 SCALE: 1"=20'(22x34)
 SCALE: 1"=40'(11x17)
 JOB No: 21-0111.000
 SHEET:
C5.0

P:\ABC\W\ABC_Store_054B_Doral\03-Plans\005\0_054b_Geometry-22434.dwg Plotted: Apr. 19, 2023 3:18pm by RGebrath

212.11.6 Trees and Vegetation

Intersections should be designed to accommodate the placement of trees and other desired vegetation (e.g., ground cover plants, trunked plants) in C2T, C3C, C4, C5, and C6 context classifications while still maintaining clear sight triangles. Ground cover plants are naturally low-growing plants with a maximum mature height of ≤ 18 inches. Trunked plants are those with a mature trunk diameter of 4 inches or less (measured 6 inches above the ground).

Maintain clear sight triangles for all approaches. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2**. The hatched-out areas are for ground cover plants only. Coordinate with the Project Landscape Architect for the placement of vegetation and the necessary space above and below ground for tree growth that will maintain clear sight triangles.

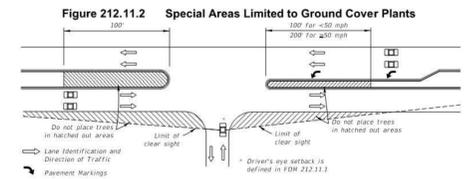


FIGURE 212.11.2
 FDOT DESIGN MANUAL – SECTION 212

Design Speed (mph)	d_s (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)
≤ 30	415	295	80	355
35	485	345	90	415
40	555	395	105	470
45	625	445	115	530
50	690	490	130	585
55	760	540	140	645
60	830	590	155	705
65	900	640	170	765

INTERSECTION SIGHT DISTANCE: 6-LANE DIVIDED

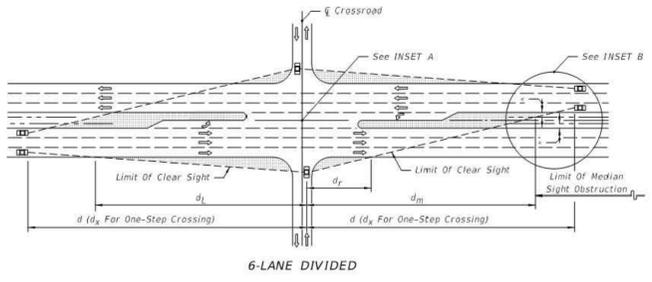
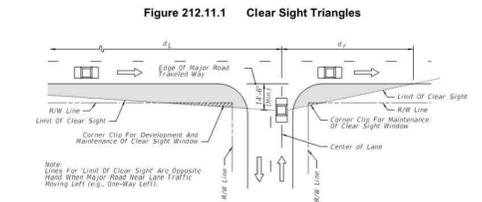


EXHIBIT 212-7
 FDOT DESIGN MANUAL – SECTION 212

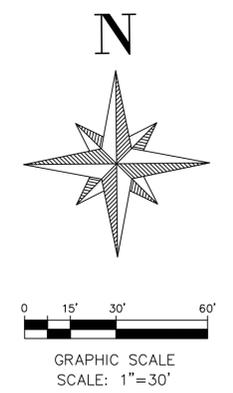
212.11.1 Stop Control (AASHTO Case B)

Figure 212.11.1 illustrates clear sight triangles for intersections and driveways.



The minimum driver-eye setback of 14.5 feet from the edge of the traveled way may be adjusted on any intersection leg only when justified by a documented, site-specific field study of vehicle stopping position and driver-eye position.

FIGURE 212.11.1
 FDOT DESIGN MANUAL – SECTION 212



REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
 ENGINEERS - PLANNERS - SURVEYORS
 8800 HAZELTINE NATIONAL DRIVE, STE. 118
 ORLANDO, FL 32822 | PHONE (407) 410-8804
 CERTIFICATE OF AUTHORIZATION: 32089

KPMFranklin
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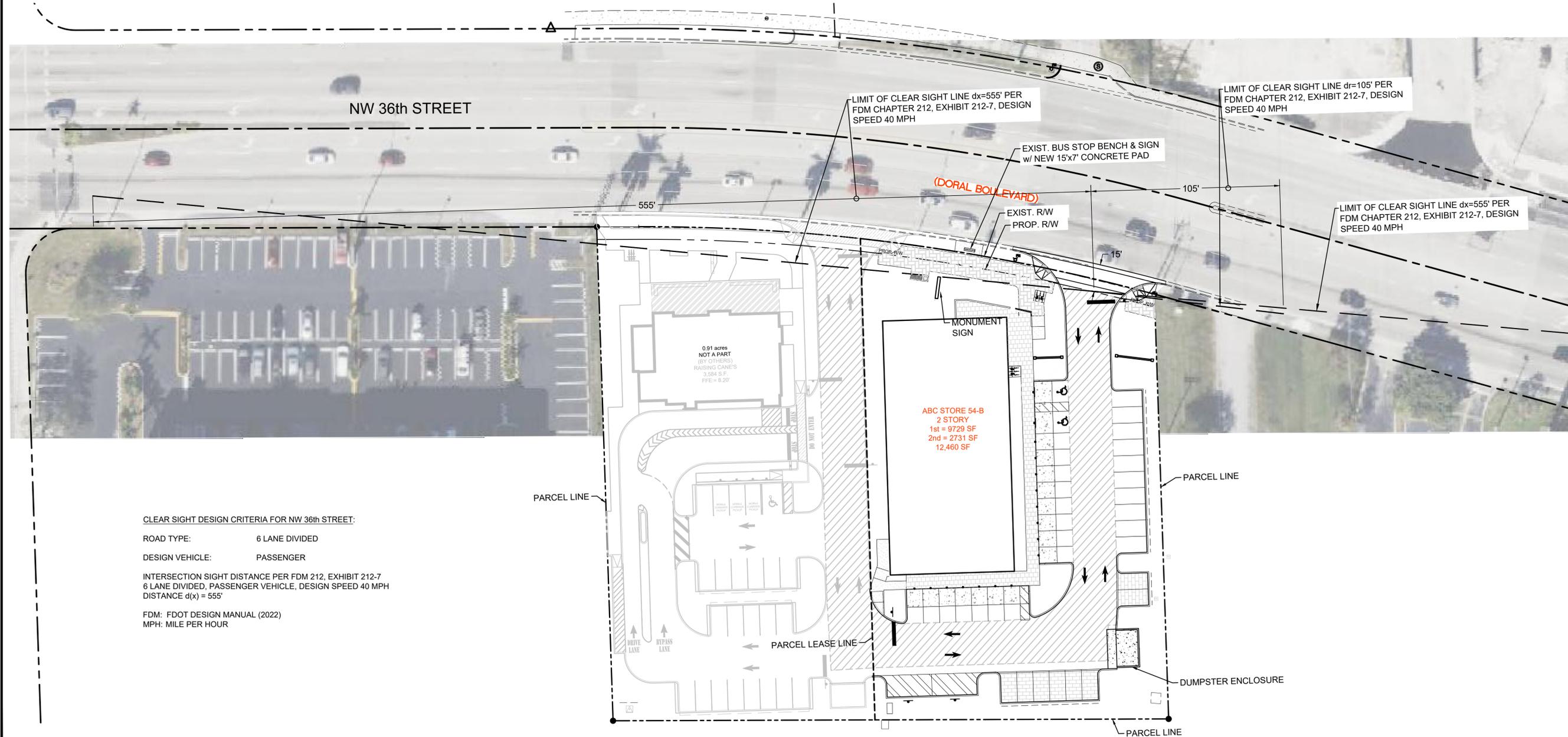
JOHN C. KELLY, P.E.
 FLORIDA P.E. #44011

ABC
 FINE WINE & SPIRITS

ABC LIQUORS INC.
 8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
 8050 NW 36 STREET
 DORAL, FL 33166

INTERSECTION SIGHT DISTANCE ANALYSIS

DRAWN: CKS
 CHECKED: JCK
 DATE: MAR., 2023
 SCALE: 1"=30'(22x34)
 1"=60'(11x17)
 JOB No: 21-0111.000
 SHEET:
C5.1



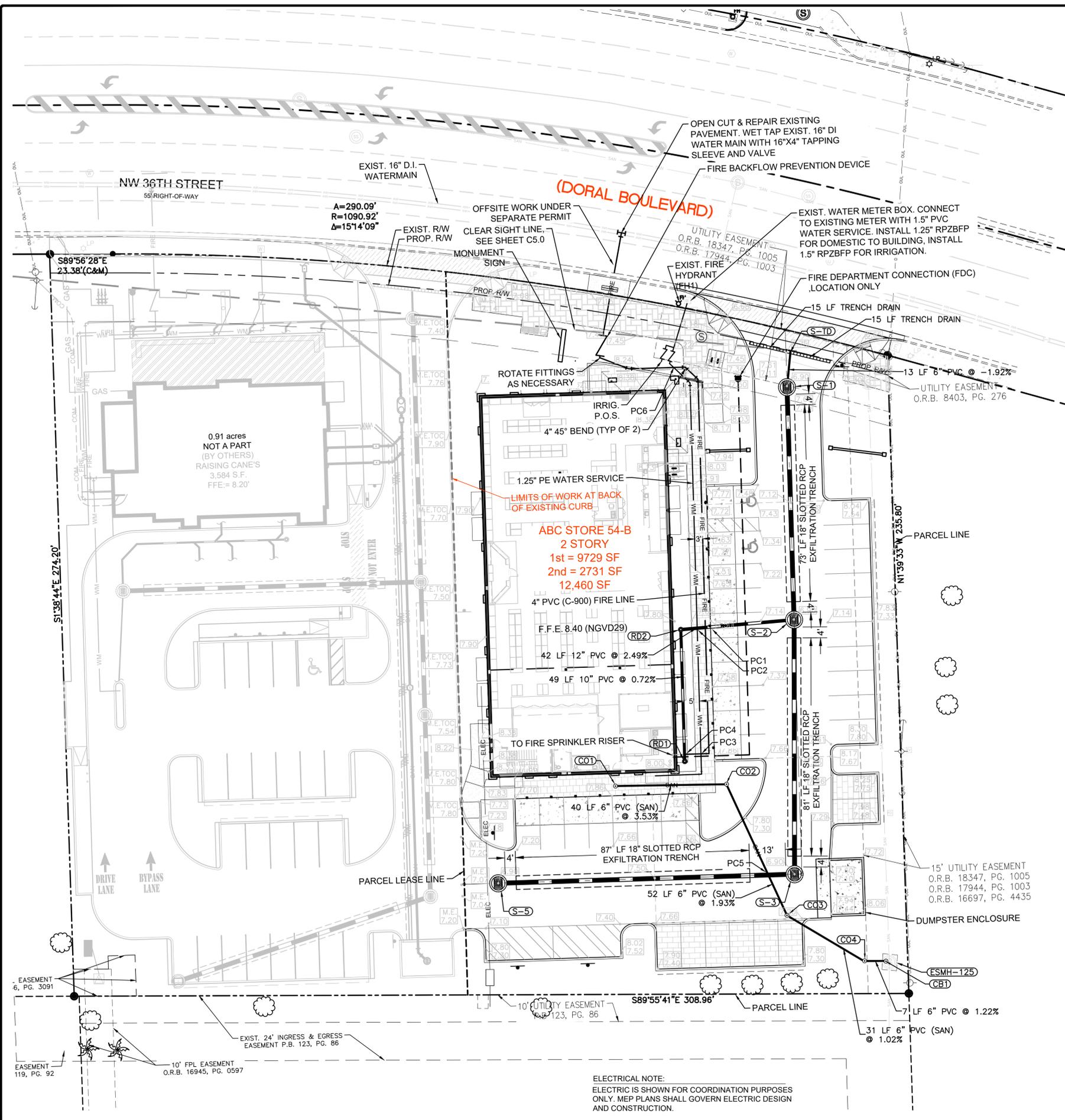
CLEAR SIGHT DESIGN CRITERIA FOR NW 36th STREET:

ROAD TYPE: 6 LANE DIVIDED
 DESIGN VEHICLE: PASSENGER

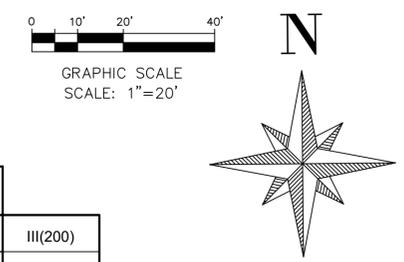
INTERSECTION SIGHT DISTANCE PER FDM 212, EXHIBIT 212-7
 6 LANE DIVIDED, PASSENGER VEHICLE, DESIGN SPEED 40 MPH
 DISTANCE $d(x) = 555'$

FDM: FDOT DESIGN MANUAL (2022)
 MPH: MILE PER HOUR

P:\ABC\FWS\ABC_Store_054B_Doral\03-Plans\005_L_054b_SIGHT_DISTANCE-22x34.dwg Plotlet: Apr. 19, 2023 - 3:07pm by RColbreath



VERTICAL DATUM NOTE:
ELEVATIONS BASED ON VERTICAL DATUM - NGVD 1929



Needed Fire Flow calculations are based on NFPA 1, 2018 edition	
*Construction Type:	III(200)
Fire Area (sq-ft):	12,460
Per Table 18.4.5.2.1, Required Fire Flow is (gpm**):	2,250
Building is sprinklered, 75% fire flow reduction allowed (gpm):	-1,687.5
Total Required Fire Flow for ABC Retail Building (gpm *):	625

(*) Based on NFPA 220 as referenced in Florida Fire Prevention Code, Table 18.4.5.2.1; Construction Type IIB per Florida Building Code
 (**) MEASURED AT 20 PSI
 (***) Based on Florida Fire Prevention Code, Table 18.5.4.3
 (****) Measured in accordance with Florida Fire Prevention Code, Sections 18.5.1.4 and 18.5.1.5
 Note: NFPA 1, 2018 edition refers to the Florida specific edition of "NFPA 1, Fire Code", also adopted as "Florida Fire Prevention Code, Seventh Edition" (Dec. 31, 2020)

Maximum Fire Hydrant Fire Flow Capacity Provided ***		
FH#	Distance to Bldg****	Maximum Capacity**
FH1	<250 ft	1,500 gpm
		1,500 gpm Provided 625 gpm Required

Maximum Fire Hydrant Fire Flow Capacity Allowed ***	
Distance to Bldg****	Maximum Capacity**
≤250	1500 GPM
>250 and ≤500	1000 GPM
>500 and <1000	750 GPM

Sanitary Structure Table

Structure Name	Structure Details
CO1	CLEANOUT RIM = 7.93 INV = 4.45 (6")
CO2	CLEANOUT RIM = 7.43 W INV = 3.00 (6") S INV = 2.00 (6")
CO3	CLEANOUT (TRAFFIC) RIM 7.25 INV = 1.00 (6")
CO4	CLEANOUT RIM 6.80 INV = 0.68 (6")
CB1	CORE BORE INVERT W INV IN = 0.60 (6")
ESMH-125	Existing San Manhole #125 RIM = 6.40 N INV OUT = -0.50 (8") W INV IN = 0.60 (6") E INV IN = -0.25 (8")

Storm Structure Table

Structure Name	Structure Details
RD1	ROOFDRAIN CONNECTION RIM = 7.90 N INV OUT = 5.00 (10")
RD2	ROOFDRAIN CONNECTION RIM = 7.70 S INV IN = 4.65 (10") E INV OUT = 4.55 (12")
S-1	TYPE C INLET TOP J Bottom (5' Dia.) Alt A RIM = 6.90 S INV IN = 3.00 (18") N INV OUT = 3.00 (6")
S-2	TYPE C INLET TOP J Bottom (5' Dia.) Alt A RIM = 6.90 W INV IN = 3.50 (12") S INV IN = 3.00 (18") N INV OUT = 3.00 (18")
S-3	TYPE C INLET TOP J Bottom (5' Dia.) Alt A RIM = 6.90 W INV IN = 3.00 (18") N INV OUT = 3.00 (18")
S-5	TYPE C INLET TOP J Bottom (5' Dia.) Alt A RIM = 6.90 E INV OUT = 3.00 (18")
S-TD	TRENCH DRAIN RIM = 6.75 S INV IN = 3.25 (6")

PIPE CROSSING DATA:

- PC1: GRADE OVER PIPES EL. 7.5±
4" FIRE T/PIPE ELEV. 4.1
12" RD B/PIPE ELEV. 4.6
- PC2: GRADE OVER PIPES EL. 7.6±
1.25" WL T/PIPE ELEV. 4.1
12" RD B/PIPE ELEV. 4.6
- PC3: GRADE OVER PIPES EL. 7.9±
4" FIRE T/PIPE ELEV. 4.3
1.25" WL B/PIPE ELEV. 4.8
- PC4: GRADE OVER PIPES EL. 8.0±
4" FIRE T/PIPE ELEV. 4.0
10" RD B/PIPE ELEV. 4.9
- PC5: GRADE OVER PIPES EL. 7.0±
6" SAN T/PIPE ELEV. 1.8
18" RCP B/PIPE ELEV. 2.8
- PC6: GRADE OVER PIPES EL. 7.9±
4" FIRE T/PIPE ELEV. 4.3
1.25" WL B/PIPE ELEV. 4.8

ELECTRIC CONDUIT CROSSING NOTE:
ALL ELECTRICAL CONDUIT CROSSINGS SHALL BE BY CONTRACTOR PER N.E.C.

ELECTRICAL NOTE:
ELECTRIC IS SHOWN FOR COORDINATION PURPOSES ONLY. MEP PLANS SHALL GOVERN ELECTRIC DESIGN AND CONSTRUCTION.

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB



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JOHN C. KELLY, P.E.
FLORIDA P.E. #44011

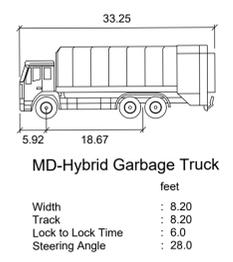
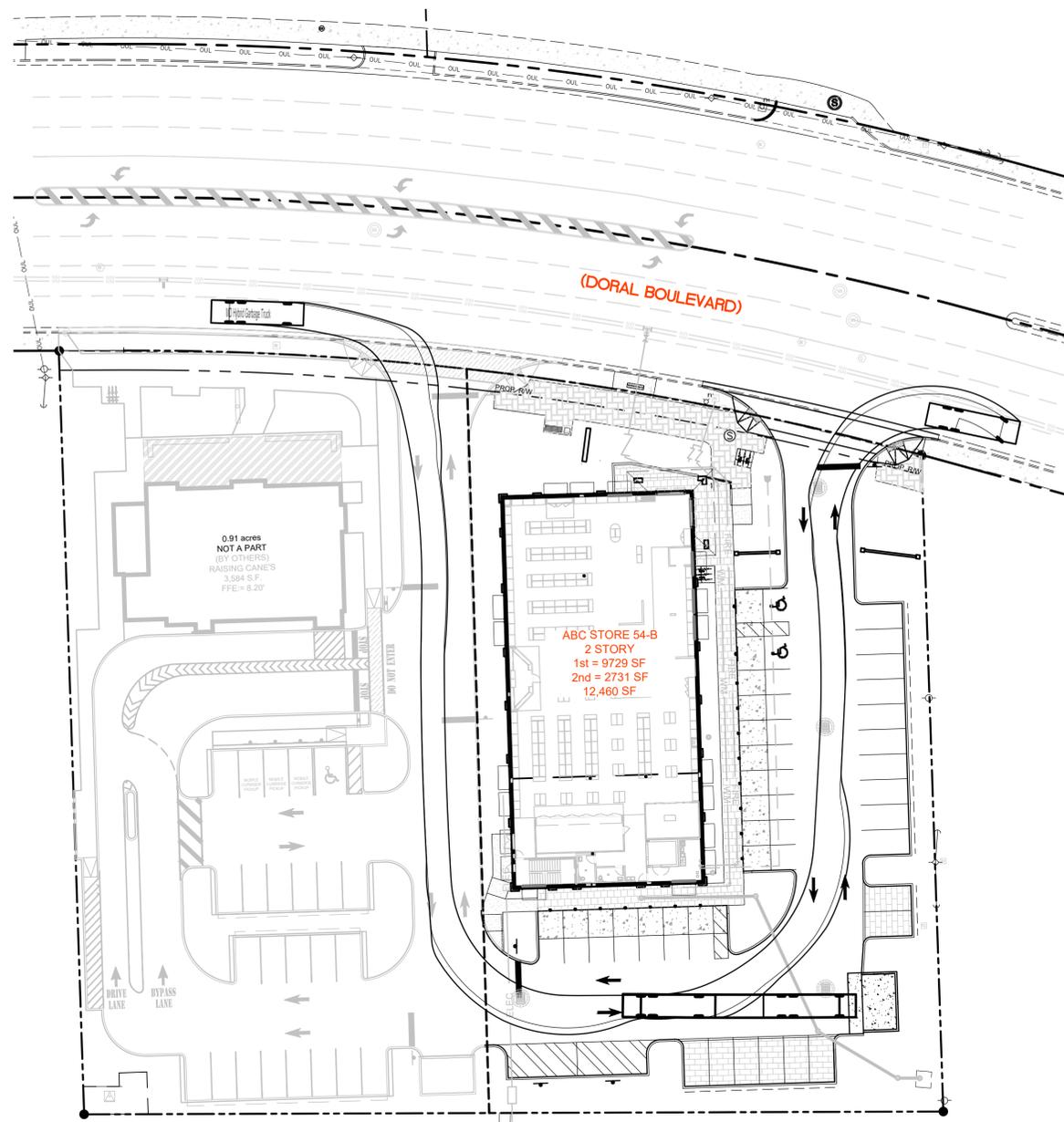


ABC LIQUORS INC.
8899 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

UTILITIES AND DRAINAGE PLAN
DRAWN: CKS
CHECKED: JCK
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
1"=40'(11x17)
JOB No: 21-0111.000
SHEET:
C6.0

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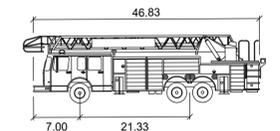
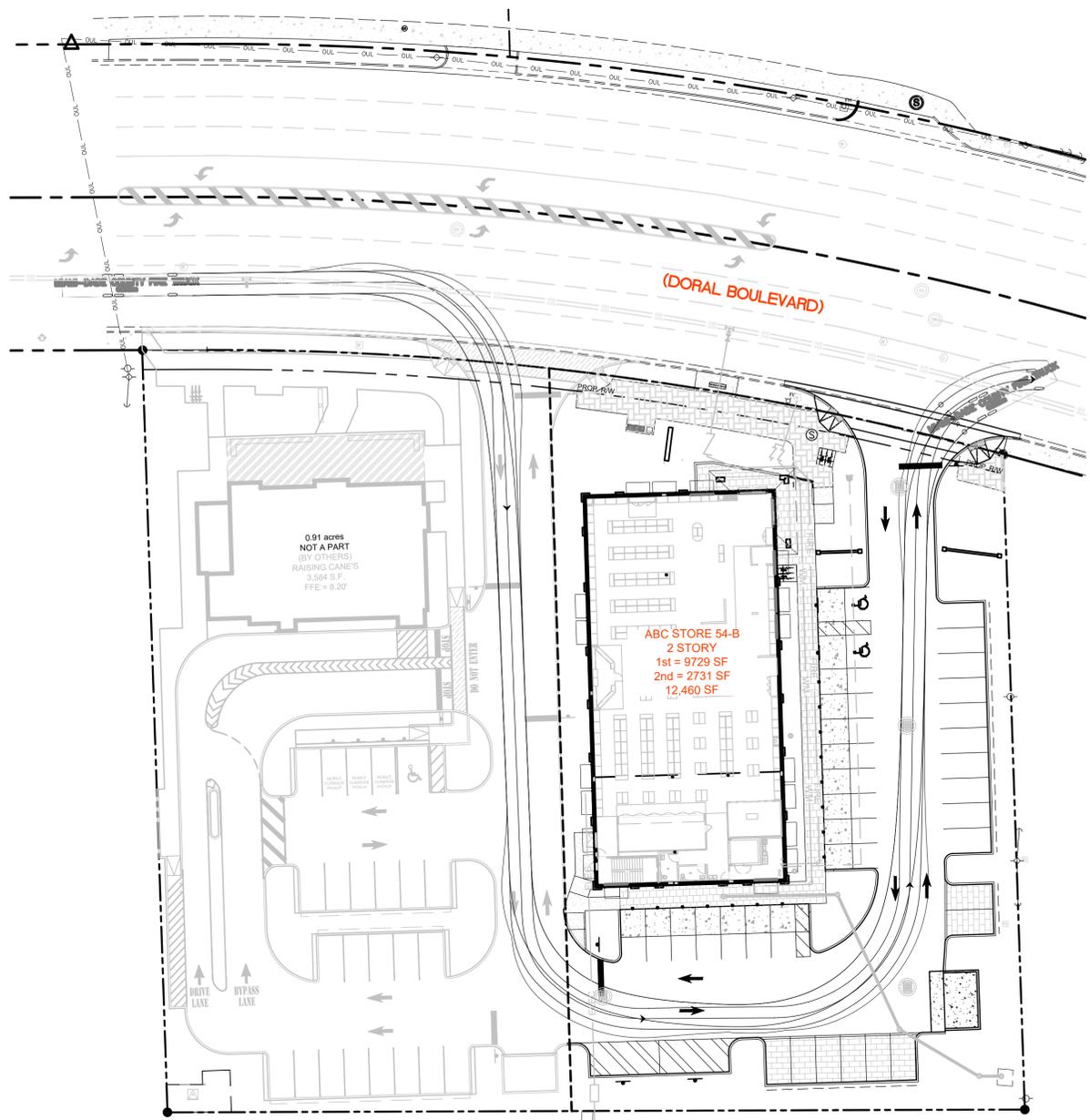
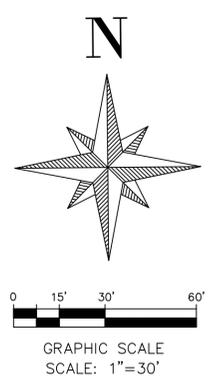
P:\ABCEWS\ABC_Store_054B_Doral\03-Plans\TRUCKS-22x34.dwg Plotted: Apr 19, 2023 - 3:10pm by R6albraith



MD-Hybrid Garbage Truck

	feet
Width	: 8.20
Track	: 8.20
Lock to Lock Time	: 6.0
Steering Angle	: 28.0

DUMPSTER VEHICLE



MIAMI-DADE COUNTY FIRE TRUCK

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 25.7

FIRE VEHICLE

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
 ENGINEERS • PLANNERS • SURVEYORS
 6800 HAZELTINE NATIONAL DRIVE, STE. 119
 ORLANDO, FL 32822 | PHONE (407) 414-8624
 CERTIFICATE OF AUTHORIZATION: 38286

WARNING
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JOHN C. KELLY, P.E.
 FLORIDA P.E. #44011

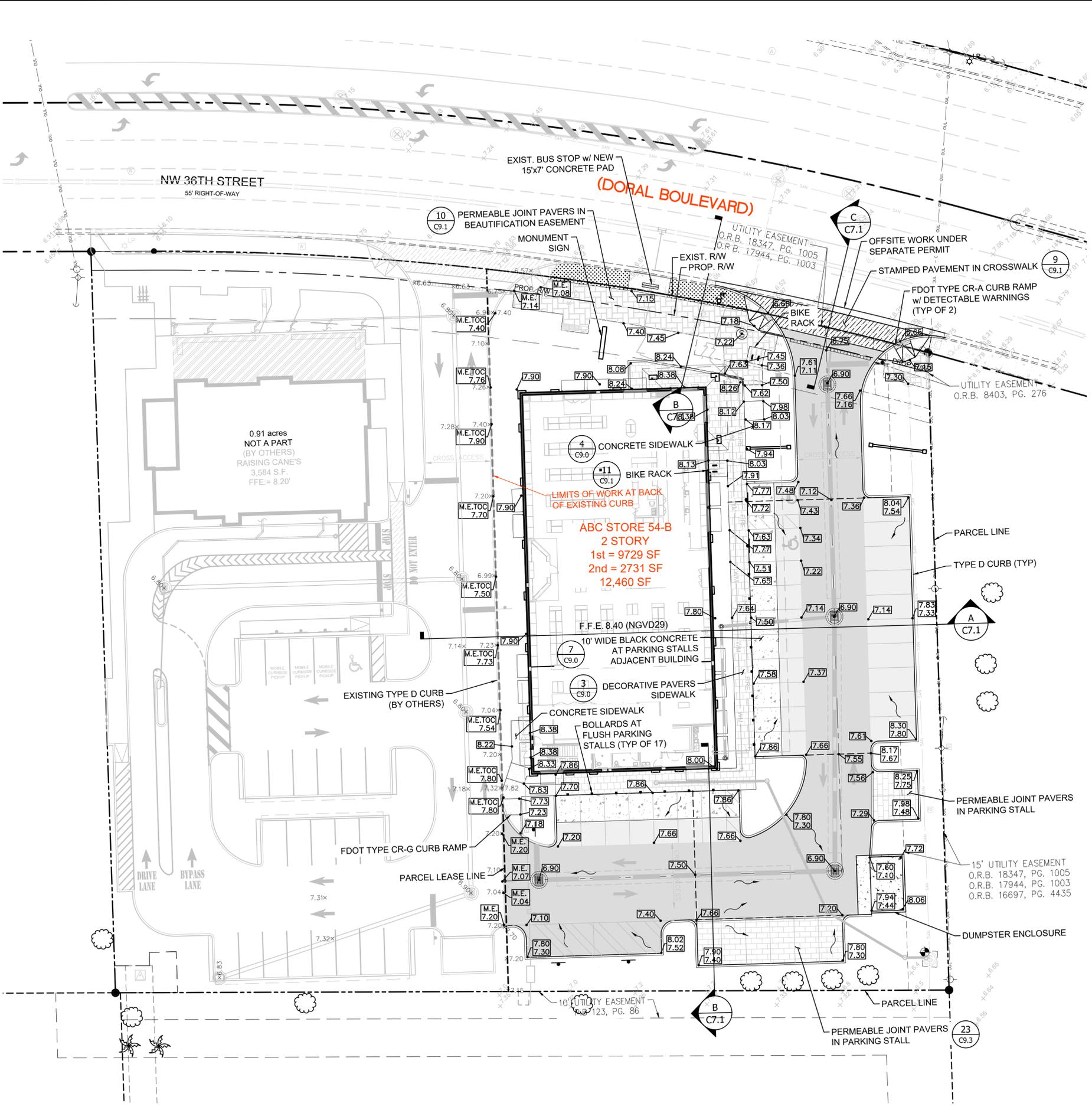


ABC LIQUORS INC.
 8898 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
 8050 NW 36 STREET
 DORAL, FL 33166

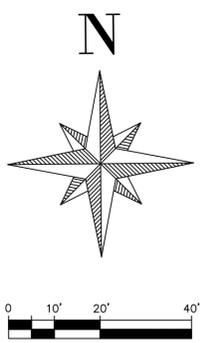
TRUCK MOVEMENT PLAN

DRAWN:	CKS
CHECKED:	JCK
DATE:	MAR., 2023
SCALE:	1"=30'(22x34) 1"=60'(11x17)
JOB No:	21-0111.000
SHEET:	C6.1

P:\ABCEWA\ABC_Store_054B_Doral\03-Plans\07-054b_PGD-22434.dwg Plotlet: Apr 19, 2023 - 3:11pm by RColbraith



VERTICAL DATUM NOTE:
ELEVATIONS BASED ON VERTICAL DATUM - NGVD 1929



LEGEND:

- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE, PATTERNED
- PROPOSED CONCRETE, STANDARD
- PROPOSED PERMEABLE JOINT PAVERS SIDEWALK (BEAUTIFICATION ESMT)
- PROPOSED PERMEABLE JOINT PAVERS PARKING STALLS
- PROPOSED DECORATIVE PAVERS SIDEWALK (ONSITE)
- PROPOSED LANDSCAPED AREA
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- SPOT ELEVATION BY OTHERS
- EXISTING SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
2. ELEVATIONS SHOWN ARE BASED ON N.G.V.D. 1929 VERTICAL DATUM PER TOPOGRAPHIC SURVEY PREPARED BY HARDONNE CORP.
3. THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE X (UNSHADED) AND ZONE AH (EL. 7), AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 120041, PANEL 0287, SUFFIX L, EFFECTIVE DATE SEPTEMBER 11, 2009.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING F.D.E.P. PERMIT FOR ANY DEWATERING OPERATION.
5. OWNER IS REQUIRED TO PROVIDE NOTICE OF INTENT IN ACCORDANCE WITH CRITERIA SET FORTH IN N.P.D.E.S. PERMIT 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. CONTRACTOR SHALL SOD ALL AREAS DISTURBED BY CONSTRUCTION UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS.
7. DETECTABLE WARNINGS NOT REQUIRED WITHIN PROJECT PROPERTY LIMITS UNLESS OTHERWISE DEPICTED AT SPECIFIC LOCATIONS ON THESE DRAWINGS.
8. ALL HANDICAP STALLS AND AISLES SHALL NOT EXCEED 1:48 (2%) SLOPE IN ANY DIRECTION.
9. ALL HANDICAP PARKING AND ACCESSIBLE MEANS OF EGRESS MUST COMPLY WITH THE "DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7th EDITION. ALL SIDEWALKS, CROSSWALKS AND RAMPS SHOWN ON THESE DRAWINGS ARE CONSIDERED TO BE ACCESSIBLE MEANS OF EGRESS.
10. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS REQUIRED IN CITY OF DORAL LAND DEVELOPMENT CODE AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

FILL NOTES:

- 1) ALL GEOTECHNICAL REPORTS ARE CONSIDERED TO BE A PART OF THESE PLANS. THE CONTRACTOR SHALL OBTAIN ANY AND ALL REPORTS, INCLUDING TERRACON CONSULTANTS, INC. PROJECT NO. H8215117 ("SUBSURFACE SOIL EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION"), AND CONSTRUCT ACCORDING TO THE RECOMMENDATIONS AND REQUIREMENTS SET FORTH IN SAID REPORTS. ANY CONFLICT BETWEEN THE GEOTECHNICAL REPORTS AND ENGINEERING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 2) THIS SITE IS CURRENTLY DEVELOPED. ALL EXISTING FOUNDATION, SLABS, ASPHALT, AND ANY OTHER UNDERGROUND STRUCTURES OR UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE PROPOSED CONSTRUCTION AREA, UNLESS OTHERWISE NOTED. REMOVE ALL PIPES (EXCEPT AS NOTED) OR ANY COLLAPSIBLE OR LEAK PRONE UTILITIES, OR FILL WITH GROUT. OVER-EXCAVATED AREAS RESULTING FROM REMOVAL OF UNDERGROUND STRUCTURE, PIPES AND UNSUITABLE / DELETERIOUS MATERIALS SHALL BE BACKFILLED IN ACCORDANCE WITH FILL SECTION OF GEOTECHNICAL REPORT. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF THE UNSUITABLE MATERIALS.
- 3) NATURAL LIMESTONE WAS ENCOUNTERED ON THIS SITE. THEREFORE, EXCAVATIONS PERFORMED WITHIN THIS ROCK FORMATION MAY REQUIRE SPECIAL TOOLS AND/OR METHODS.
- 4) USE FILL WITH LESS THAN 12 PERCENT BY DRY WEIGHT OF MATERIAL PASSING THE U.S. STANDARD NO. 200 SIEVE. PLACE FILL IN LEVEL LIFTS NOT TO EXCEED 12-INCH UNCOMPACTED THICKNESS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 95 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAX. DRY DENSITY. IF HAND-HELD COMPACTION EQUIPMENT IS USED, LIFT THICKNESS SHALL BE REDUCED TO 6-INCH MAXIMUM.

AREA CALCULATIONS

	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
IMPERVIOUS AREA =	30,294 S.F. (0.696 AC.) (73.37%)	29,953 S.F. (0.688 AC.) (72.5%)
PERVIOUS AREA =	11,013 S.F. (0.252 AC.) (26.67%)	11,337 S.F. (0.260 AC.) (27.5%)
TOTAL AREA =	41,290 S.F. (0.948 AC.) (100%)	41,290 S.F. (0.948 AC.) (100%)

NOTE: THERE IS A NET DECREASE IN IMPERVIOUS AREA OF 341 S.F. (0.008 AC.)

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
ENGINEERS - PLANNERS - SURVEYORS
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ORLANDO, FL 32822 | PHONE (407) 414-8824
CERTIFICATE OF AUTHORIZATION: 38286

KPMFranklin
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JOHN C. KELLY, P.E.
FLORIDA P.E. #44011

ABC LIQUORS INC.
8899 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

ABC LIQUORS INC.
DRAWN: CKS
CHECKED: JCK
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
SCALE: 1"=40'(11x17)
JOB No: 21-0111.000
SHEET:
C7.0

PAVING AND GRADING PLAN

REVISIONS	BY
△ CITY 2ND REVIEW COMMENTS	CKS/JCB
△ CITY 2ND REVIEW COMMENTS	CKS/JCB



KPMFranklin

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JOHN C. KELLY, P.E.
FLORIDA P.E. #44011



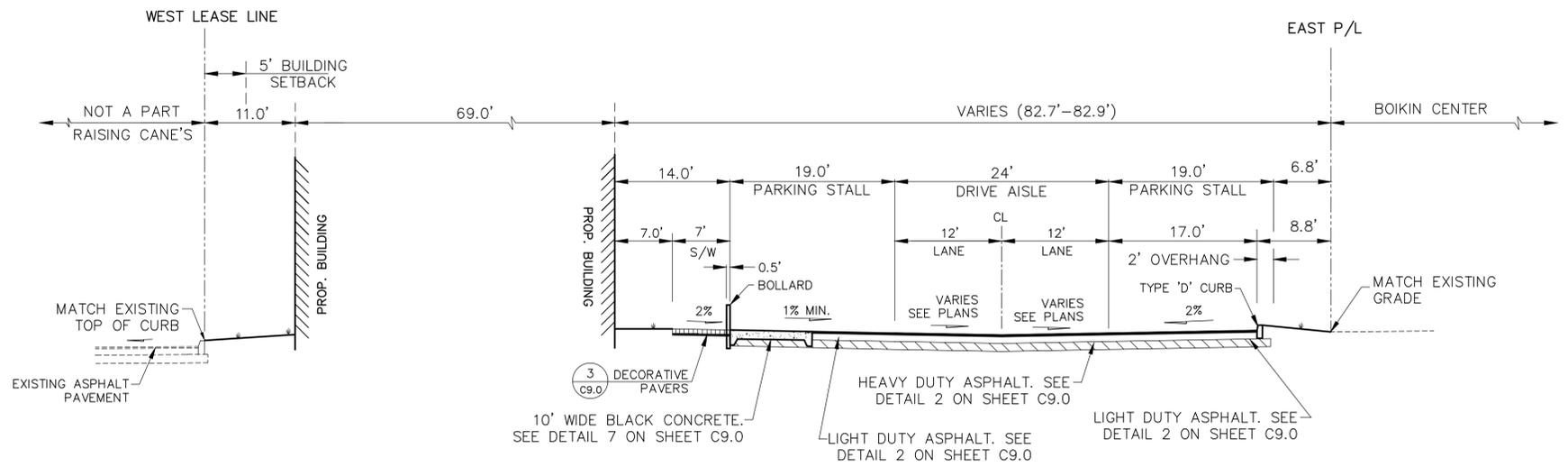
ABC LIQUORS INC.
8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

DRAWN: CKS
CHECKED: JCK
DATE: MAR., 2023
SCALE: AS NOTED
JOB No: 21-0111.000

SHEET:

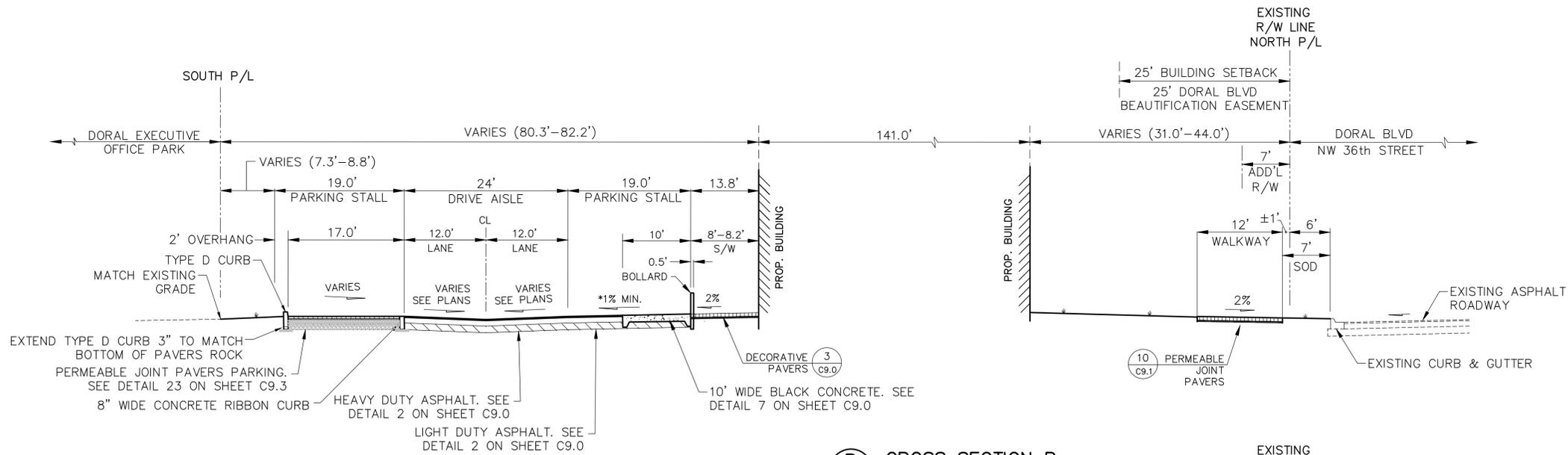
C7.1

CROSS SECTIONS

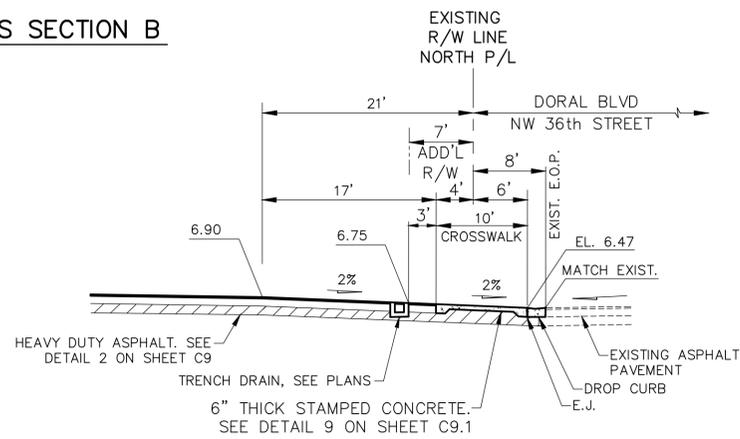


(*) HANDICAP STALLS AND AISLES SHALL NOT EXCEED 48:1 (2.08%) MAX. SLOPE IN ANY DIRECTION

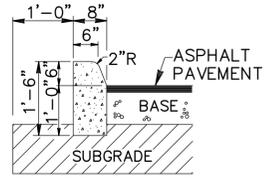
A CROSS SECTION A
C7.0 N.T.S.



B CROSS SECTION B
C7.0 N.T.S.

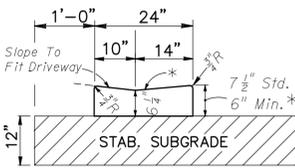


C CROSS SECTION C
C7.0 N.T.S.

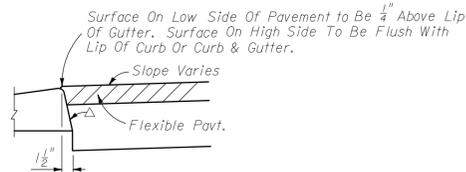


FDOT TYPE 'D' CURB

*WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS.



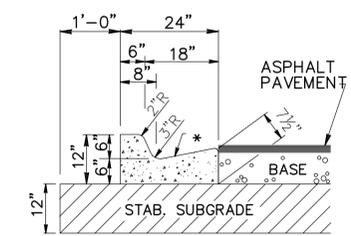
FDOT DROP CURB



FDOT TYPE 'F' CURB

△ Applies to both high and low sides of pavement, low side shown. Applies to shoulder gutter only where adjoining traffic lanes.

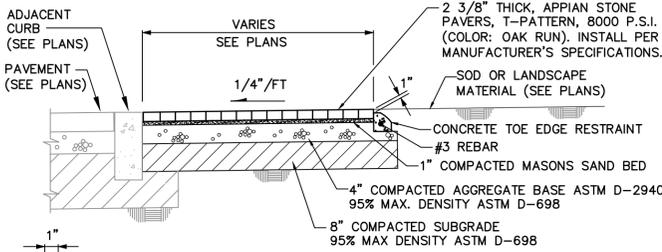
CURB AND GUTTER AND TYPE A CURB ADJACENT TO FLEXIBLE PAVEMENT



FDOT TYPE 'F' CURB

1 MISC. CURB DETAILS

N.T.S. FDOT INDEX NO. 520-001 (OLD 300)

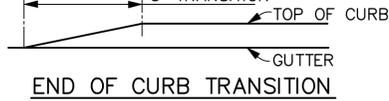


TYPICAL SECTION NON-VEHICULAR AREAS (ON-SITE ONLY, DO NOT USE IN R/W)

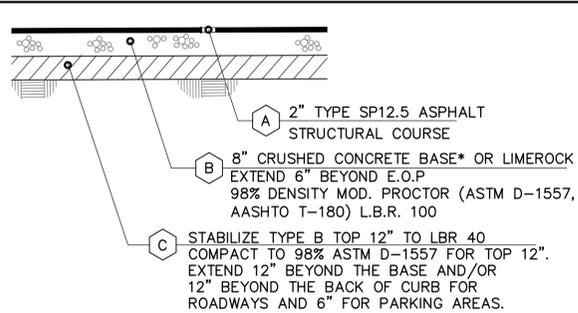
NOTE: PIGMENT SHALL BE MANUFACTURED TO PRODUCE A SOLID HOMOGENEOUS MATRIX IN PAVER UNIT, CONFORM TO ASTM C-979.

3 ON-SITE APPLICATION FOR DECORATIVE PAVERS SIDEWALK

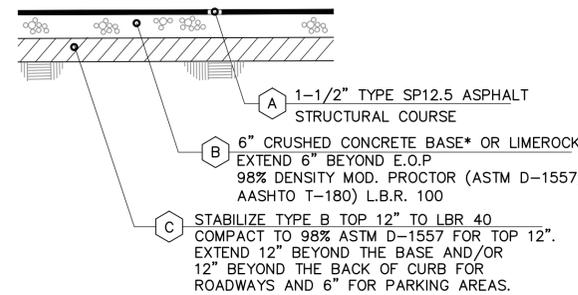
N.T.S. SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION



END OF CURB TRANSITION



HEAVY DUTY PAVEMENT SECTION

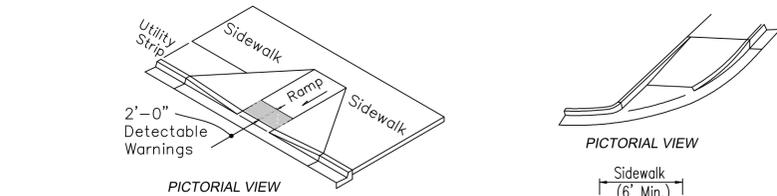


LIGHT DUTY PAVEMENT SECTION

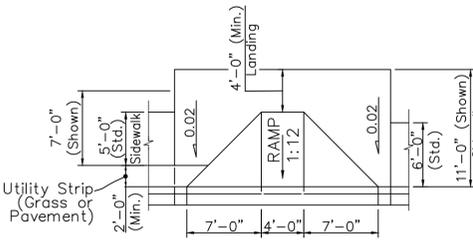
2 TYPICAL ASPHALT SECTIONS

N.T.S.

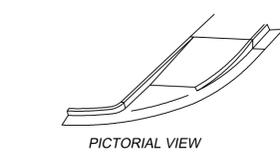
(* CRUSHED CONCRETE SHALL MEET FDOT SPECIFICATION 204 GRADED AGGREGATE BASE GRADATION REQUIREMENTS. SUBGRADE BENEATH CRUSHED CONCRETE BASE SHOULD CONSIST OF FREE DRAINING SAND. LOW PERMEABILITY SOILS SHOULD NOT BE USED AS STABILIZING MATERIALS BELOW CRUSHED CONCRETE BASE. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION.



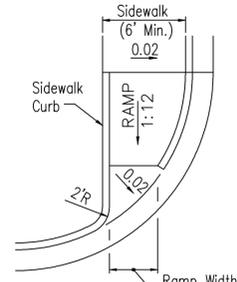
PICTORIAL VIEW



PLAN VIEW CR-A



PICTORIAL VIEW

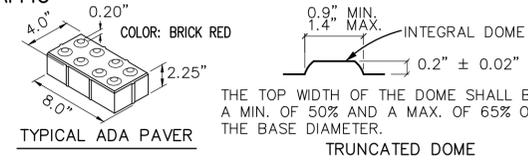


PLAN VIEW CR-G

RAMPS FOR LINEAR PEDESTRIAN TRAFFIC

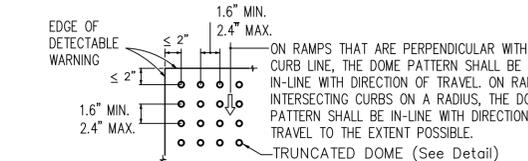
GENERAL NOTES

- Cross Slopes and Grades:
 - Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:12) shown in this Index are maximums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - Landings must have cross-slopes less than or equal to 0.02 in any direction.
 - Install ramp slopes along a single linear plane (i.e. no warps or varying slope). Ramp slopes are not required to exceed 15 feet in length.
 - Joins permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index 522-001. No joints are permitted within the ramp portion of the Curb Ramp.
- Grade Breaks:
 - Grade breaks at the top and bottom of ramps must be parallel to each other and perpendicular to the direction of the ramp slope.
- Curb, Curb and Gutter and/or Sidewalk:
 - Refer to Index 522-001 for concrete thickness and sidewalk details.
 - Remove any existing curb or curb and gutter to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5 feet long. Remove any existing sidewalk to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5 feet long.
- Curb Ramp Alpha-Identification:
 - Sidewalk curb ramp alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.
 - Alpha-identifications CR-I and CR-J are intentionally omitted.
- Detectable Warnings:
 - Install detectable warnings in accordance with Specification 527.
 - Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
 - If detectable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.
- Detectable Warnings - Acceptance Criteria:
 - Color and texture shall be complete and uniform.
 - 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
 - There shall be no more than 4 non-compliant domes in any one square foot.
 - Non-compliant domes shall not be adjacent to other non-compliant domes.
 - Surfaces shall not deviate more than 0.10" from a true plane.



TYPICAL ADA PAVER

TRUNCATED DOME



PLAN VIEW DETECTABLE WARNING

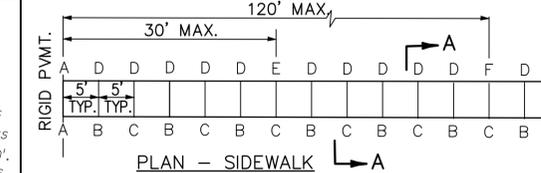
6 FDOT PUBLIC SIDEWALK RAMP

N.T.S. FDOT INDEX NO. 522-002 (OLD 304)

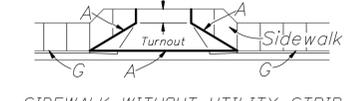
NOTE: RAMPS SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION

JOINT LEGEND

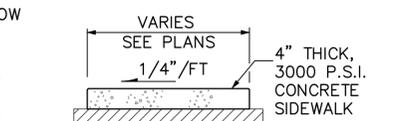
- A - 1/2" Expansion Joints (Preformed Joint Filler)
- B - 1/2" Dummy Joints, Toolled
- C - 1/2" Formed Open Joints
- D - 1/2" Saw Cut Joints, 1/2" Deep (96 Hour) Max. 5' Centers
- E - 1/2" Saw Cut Joints, 1/2" Deep (12 Hour) Max. 30' Centers
- F - 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate locations when called for in the plans or at locations as directed by the Engineer.
- G - Cold Joint with Bond Breaker, Toolled



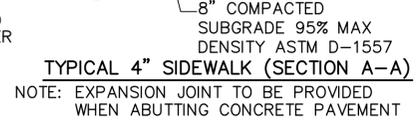
PLAN - SIDEWALK



SIDEWALK WITHOUT UTILITY STRIP



TYPICAL 4" SIDEWALK (SECTION A-A)



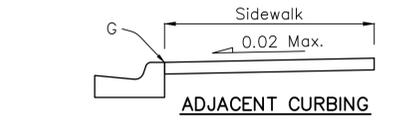
TYPICAL 6" SIDEWALK (SECTION A-A)

4 CONCRETE SIDEWALK DETAILS

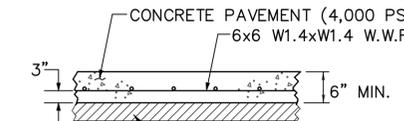
N.T.S. FDOT INDEX NO. 522-001 (OLD 310)

GENERAL NOTES:

- Construct sidewalks in accordance with FDOT Specification 522. Use 6" concrete for Sidewalks and Curb Ramps Located within Curb Returns (See Plan View). Install all other concrete with thickness as shown, unless otherwise detailed in the Plans.
- Include detectable warnings on sidewalk curb ramps in accordance with Index 522-002 (where required).
- For DRIVEWAYS see Index 522-003.
- Bond breaker material can be any impermeable coated or sheet membrane or preformed material having a thickness of not less than 6 mils not more than 1/2".
- Construct sidewalks with Edge Beam through the limits of any surface mounted Pedestrian/Bicycle Railing or Pipe Guiderail shown on the plans (where required). (See Railing Detail).



ADJACENT CURBING



CONCRETE PAVEMENT (4,000 PSI)



TYPICAL 6" SIDEWALK (SECTION A-A)

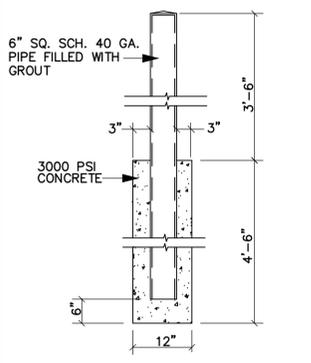
5 BOLLARD DETAIL

N.T.S.

NOTE: 1. SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION



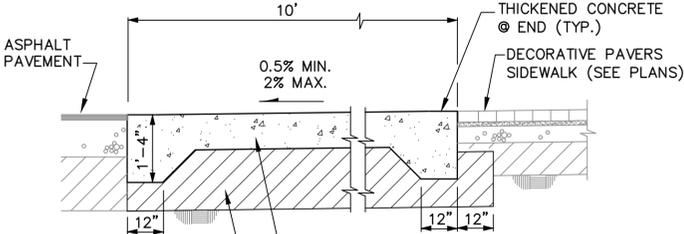
PAINT: COLOR APPROVED BY OWNER



6" SQ. SCH. 40 GA. PIPE FILLED WITH GROUT

5 BOLLARD DETAIL

N.T.S.



THICKENED CONCRETE @ END (TYP.)

DECORATIVE PAVERS SIDEWALK (SEE PLANS)

6" THICK FIBERMESH CONCRETE, DYE BLACK

12" COMPACTED SUBGRADE 95% MAX DENSITY ASTM D-1557 (LBR 40)

7 BLACK CONCRETE AT PARKING STALLS

N.T.S. (DETAIL FOR PARKING STALL LOCATION ONLY. DO NOT USE FOR VEHICULAR DRIVE AISLES)

- CONCRETE SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- JOINTS TO BE PROVIDED @ 20' MAX. SEPARATION.
- CONCRETE PAVEMENT LOCATED IN PARKING STALLS SHALL BE DYED BLACK.

7 BLACK CONCRETE AT PARKING STALLS

N.T.S. (DETAIL FOR PARKING STALL LOCATION ONLY. DO NOT USE FOR VEHICULAR DRIVE AISLES)

NOTE: SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7th EDITION

REVISIONS	BY
QTY 2ND REVIEW COMMENTS	CKS/JDB
QTY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
ENGINEERS - PLANNERS - SURVEYORS
ORLANDO, FLORIDA 32801
PHONE: (407) 411-8894
CERTIFICATE OF AUTHORIZATION: 32089

KPMFranklin
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JOHN C. KELLY, P.E.
FLORIDA P.E. #44011

ABC LIQUORS INC.
FINE WINE & SPIRITS

ABC LIQUORS INC.
8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 N.W. 36 STREET
DORAL, FL 33166

DRAWN:	CKS
CHECKED:	JCK
DATE:	MAR., 2023
SCALE:	N.T.S.
JOB No:	21-0111.000
SHEET:	C9.0

C9.0

REVISIONS	BY
QTY 2ND REVIEW COMMENTS	CKS/JDB
QTY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
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ORLANDO, FLORIDA
P.O. BOX 2456
RANCHO MIRAGE, CA 92270-1087
TEL: (407) 411-5824
FAX: (407) 411-5824
CERTIFICATE OF AUTHORIZATION: 32089

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JOHN C. KELLY, P.E.
FLORIDA P.E. #44011

ABC LIQUORS INC.
FINE WINE & SPIRITS

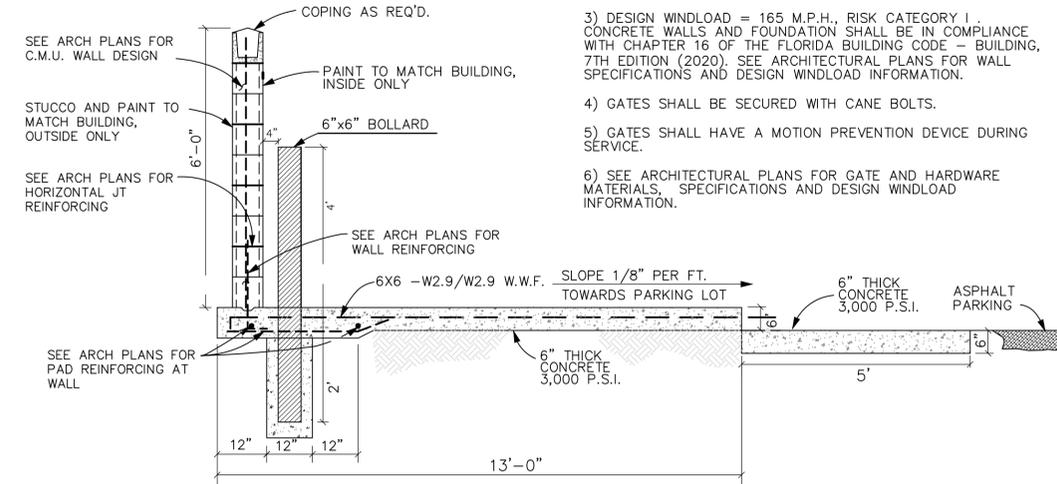
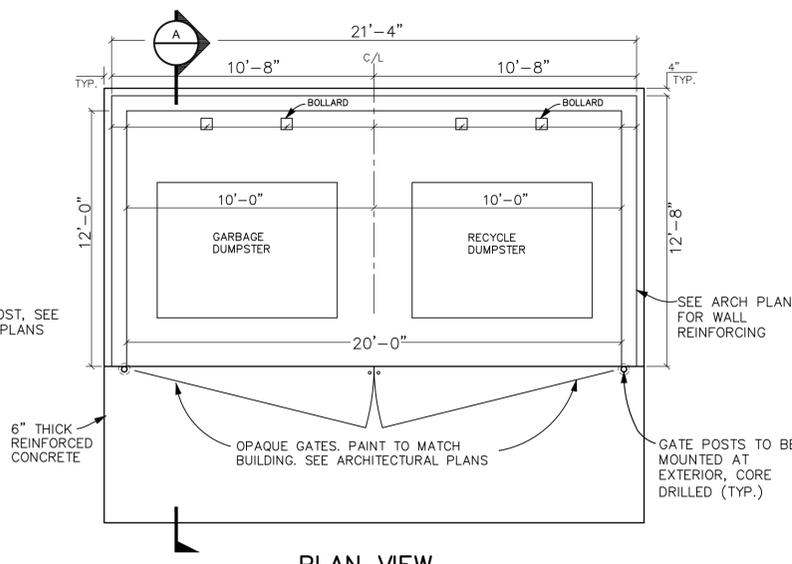
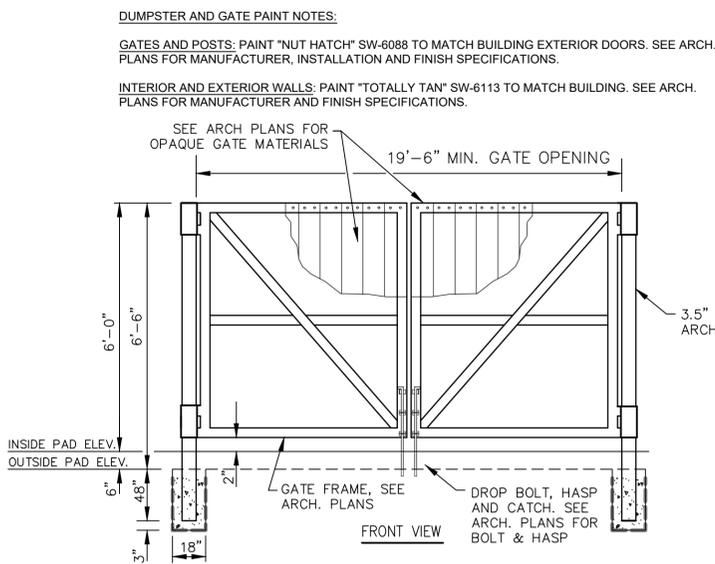
8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
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ABC LIQUORS INC.
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DRAWN: CKS
CHECKED: JCK
DATE: MAR., 2023
SCALE: N.T.S.
JOB No: 21-0111.000
SHEET: C9.1

SITE DEVELOPMENT DETAILS

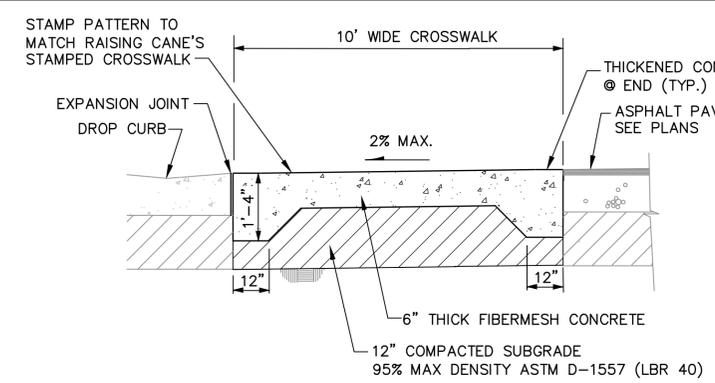
- GENERAL NOTES:**
- 1) MIN. CONCRETE STRENGTH = 3,000 PSI
 - 2) MIN. REINFORCEMENT STRENGTH = 60,000 PSI
 - 3) DESIGN WINDLOAD = 165 M.P.H., RISK CATEGORY I. CONCRETE WALLS AND FOUNDATION SHALL BE IN COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE - BUILDING, 7TH EDITION (2020). SEE ARCHITECTURAL PLANS FOR WALL SPECIFICATIONS AND DESIGN WINDLOAD INFORMATION.
 - 4) GATES SHALL BE SECURED WITH CANE BOLTS.
 - 5) GATES SHALL HAVE A MOTION PREVENTION DEVICE DURING SERVICE.
 - 6) SEE ARCHITECTURAL PLANS FOR GATE AND HARDWARE MATERIALS, SPECIFICATIONS AND DESIGN WINDLOAD INFORMATION.



GATES FOR DUMPSTER ENCLOSURE

8 DUMPSTER ENCLOSURE
NO SCALE

DUMPSTER PAD/WALL DETAIL - SECTION A

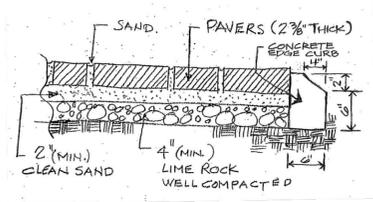


- NOTES:**
- 1) PERMEABLE JOINT PAVERS WALKWAY LOCATED IN THE DORAL BEAUTIFICATION EASEMENT SHALL COMPLY WITH CITY OF DORAL SPECIFICATIONS.

- NOTES:**
- 1) CONCRETE SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 - 2) JOINTS TO BE PROVIDED @ 20' MAX. SEPARATION.

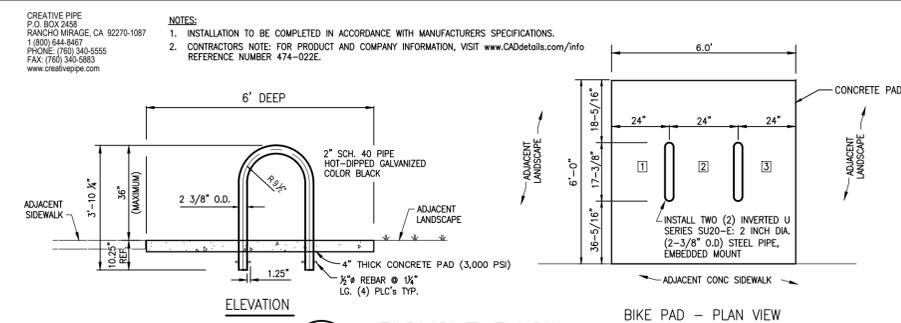
9 STAMPED CONCRETE CROSSWALK
N.T.S.

SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION

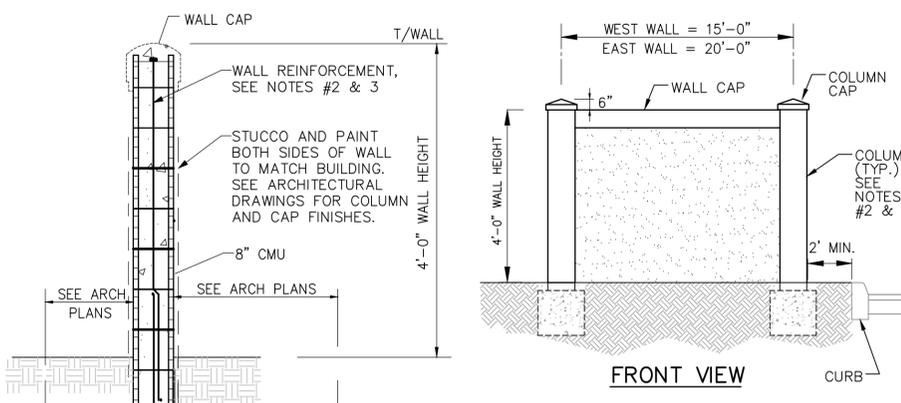


10 PERMEABLE JOINT PAVERS WALKWAY
N.T.S.

SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION

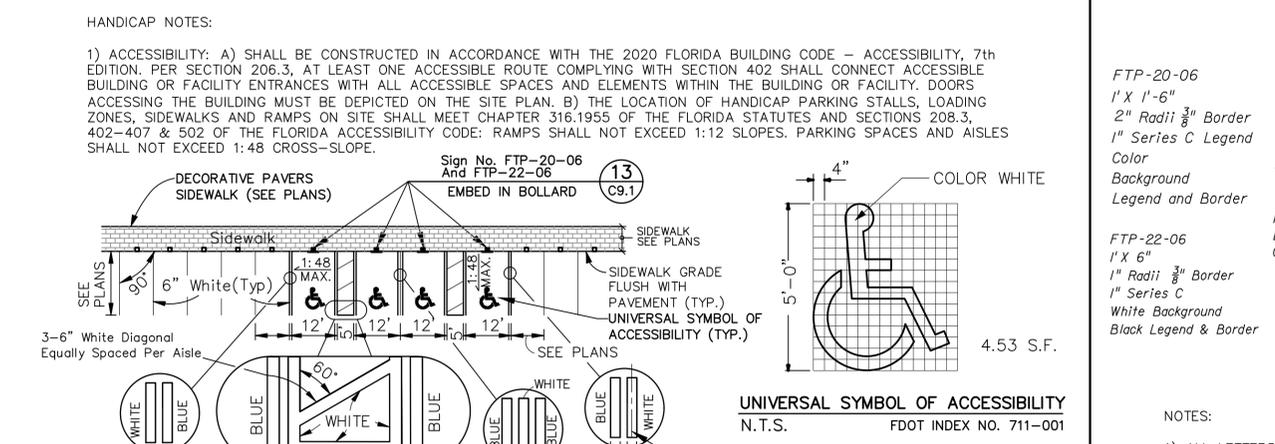


11 BICYCLE RACK
N.T.S.



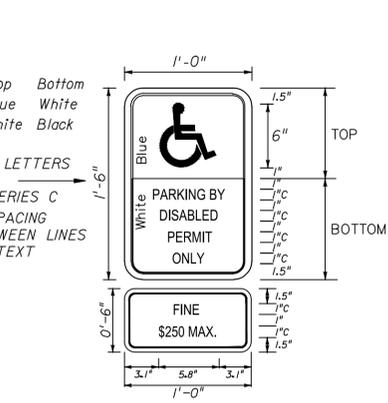
- NOTES:**
- 1) COMPACT SOIL TO 2000 PSF BEARING, MIN.
 - 2) WALL, FOOTER, COLUMN & REINFORCEMENT TO BE DESIGNED BY A STRUCTURAL ENGINEER.
 - 3) SEE ARCHITECTURAL PLANS FOR WALL & COLUMNS SPECIFICATIONS AND DESIGN WIND LOAD INFORMATION.

14 PARKING SCREEN WALL
SCALE: NONE



- MARKING NOTES:**
1. DIMENSIONS ARE TO THE CENTERLINE OF STALL MARKINGS (6" WHITE STRIPES).
 2. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595a.
 3. PER F.S. 553.5041(6): "EACH SUCH PARKING SPACE MUST BE STRIPED IN A MANNER THAT IS CONSISTENT WITH THE STANDARDS OF THE CONTROLLING JURISDICTION FOR OTHER SPACES AND PROMINENTLY OUTLINED WITH BLUE PAINT, AND MUST BE REPAINTED WHEN NECESSARY, TO BE CLEARLY DISTINGUISHABLE AS A PARKING SPACE DESIGNATED FOR PERSONS WHO HAVE DISABILITIES."

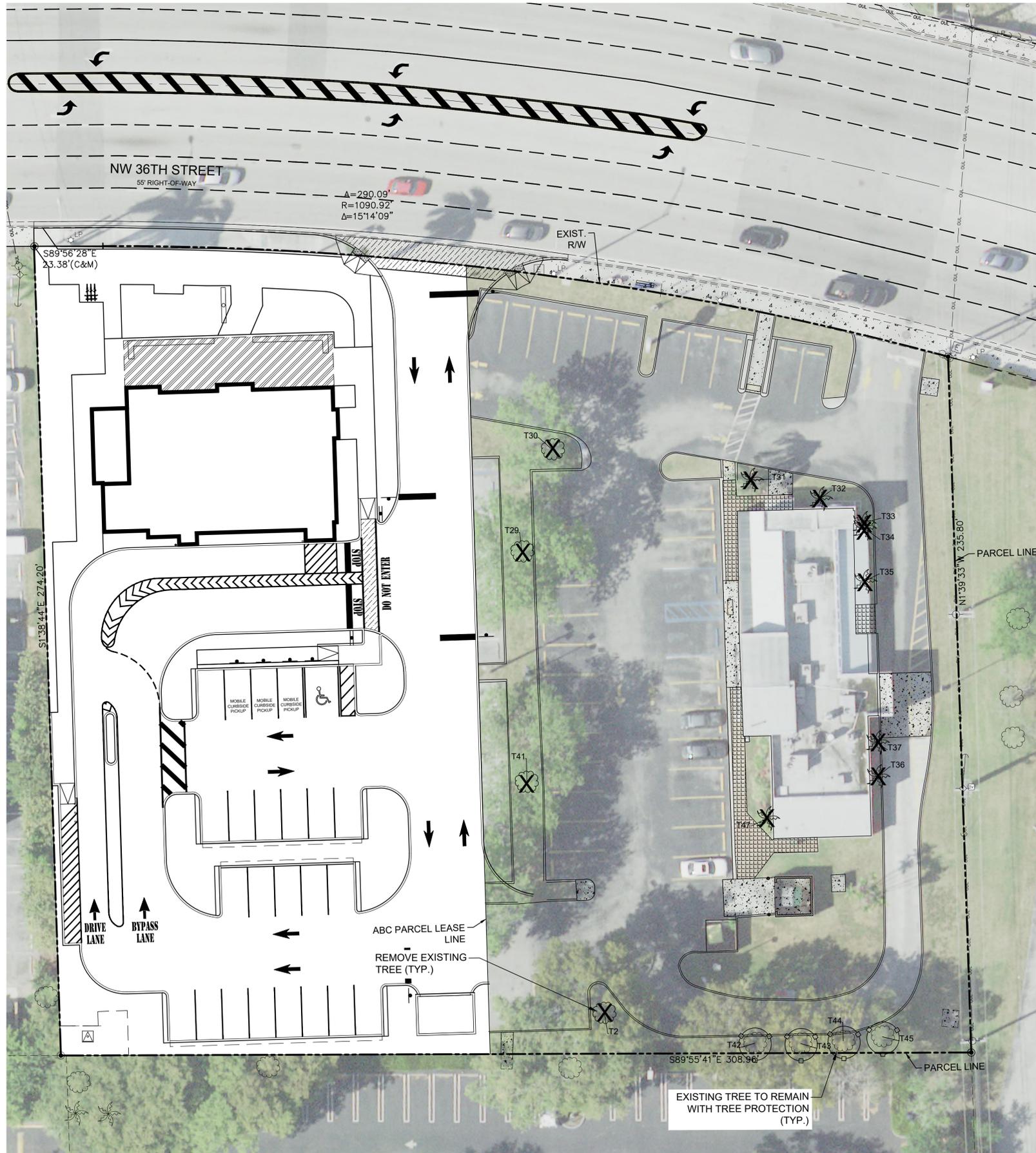
12 HANDICAP STALL AT FLUSH PARKING
N.T.S. FDOT INDEX NO. 711-001 (OLD 17346)
NOTE: SHALL COMPLY WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2020 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION



- NOTES:**
- 1) ALL LETTERS SHALL BE BLACK AND SHALL CONFORM TO FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
 - 2) TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - 3) BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK LEGEND AND BORDER.
 - 4) ONE SIGN REQUIRED FOR EACH HANDICAP PARKING SPACE.
 - 5) HEIGHT OF SIGN SHALL BE 7" ABOVE GROUND IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

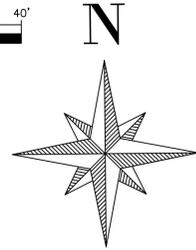
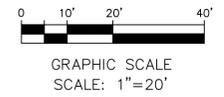
13 HANDICAP PARKING SIGN DETAILS
N.T.S. FDOT INDEX NO. 700-102 (OLD 17355)

P:\ABC\FMS\ABC_Store_054B_Doral\03-Plans\C09.0-C9.1_054b_Details.dwg Plotted: Apr 19, 2023 - 3:12pm by RColbraith



LEGEND:

- T20  REMOVE EXISTING PALM (with ID#)
- T21  REMOVE EXISTING TREE (with ID#)
- T21a  EXISTING TREE TO REMAIN with TREE PROTECTON
-  TREE PROTECTION BARRICADE



TREE TABLE

TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	TREE STATUS
T2	BLACK OLIVE	20	45	30	REMOVE
T29	TREE	20	50	40	REMOVE
T30	TREE	18	45	35	REMOVE
T31	PALM	14	30	15	REMOVE
T32	PALM	4	12	8	REMOVE
T33	PALM	4	12	8	REMOVE
T34	PALM	4	12	8	REMOVE
T35	PALM	4	12	8	REMOVE
T36	PALM	4	12	8	REMOVE
T37	PALM	4	12	8	REMOVE
T41	TREE	24	50	40	REMOVE
T42	MAHOGANY	25	50	35	REMAIN
T43	MAHOGANY	18	25	35	REMAIN
T44	MAHOGANY	18	25	35	REMAIN
T45	TREE	24	35	25	REMAIN
T47	PALM	3	6	5	REMOVE

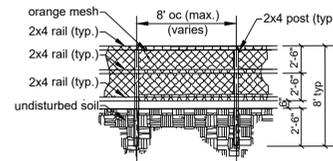
*SPECIMEN CANOPY REMOVED =	4,182 SF
OTHER CANOPY REMOVED =	557 SF
SPECIMEN CANOPY PRESERVED =	3,377 SF (CREDIT)
*TOTAL CANOPY TO BE REPLACED =	5,544 SF
TOTAL REPLACEMENT PROVIDED =	8,400 SF
SEE SHEET L1 FOR REPLACEMENT TABLE	
*SPECIMEN TO BE REPLACED BY DOUBLE THE CANOPY REMOVED	

NOTES:

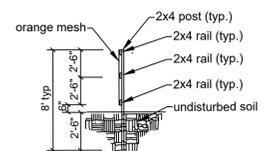
- EXISTING TREE INFORMATION SHOWN IN THESE DRAWINGS WERE PROVIDED BY 'ALTA/NSPS LAND TITLE SURVEY' PREPARED BY HADONNE, CORP., DATED DECEMBER 22, 2021.
- PROTECTIVE BARRICADES SHALL BE INSTALLED AT THE PERIMETER OF PRESERVED TREES AT THE COMMENCEMENT OF ANY SITE IMPROVEMENTS AND SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION. BARRICADES SHALL BE HIGHLY VISIBLE WITH BRIGHTLY COLORED ALL-WEATHER MESH MATERIAL OR EQUIVALENT.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES DURING REMOVAL OF TREES AND PALMS UNDER POWER LINES TO INSURE A SAFE WORKING CONDITION. CONTRACTOR SHALL ENGAGE A LICENSED ISA ARBORIST EXPERIENCED WITH WORKING AROUND HIGH VOLTAGE TO SUPERVISE THE REMOVAL WORK.
- CONTRACTOR IS RESPONSIBLE FOR CONSULTING AN ISA CERTIFIED ARBORIST TO PROVIDE WRITTEN DIRECTION AND BE PRESENT AT THE TIME ANY WORK BEING PERFORMED WITHIN THE EXISTING TREE CANOPY LIMITS (CRITICAL ROOT ZONE). CONTRACTOR SHALL HAND EXCAVATE ALL OPERATIONS WITHIN CRITICAL ROOT ZONE TO PREVENT ADVERSE IMPACTS TO THE EXISTING ROOT SYSTEM.

BARRICADE NOTES:

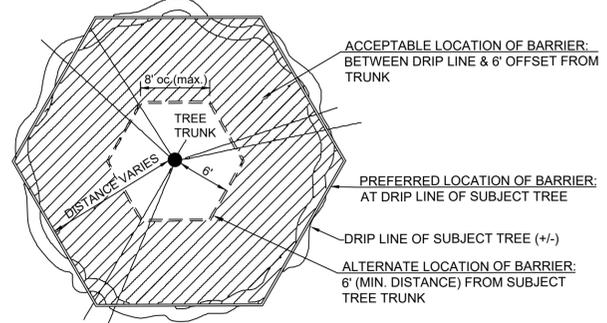
- TREE PROTECTION BARRICADE TO BE ERECTED PRIOR TO COMMENCEMENT OF ANY WORK.
- NO CONSTRUCTION WITHIN BARRICADE WITHOUT PRIOR APPROVAL.
- EXCAVATION (IF APPROVED BY OWNER) WITHIN TREE PROTECTION AREAS IS LIMITED TO HAND TOOLS (NO MACHINERY).



BARRICADE ELEVATION
N.T.S.



BARRICADE SECTION
N.T.S.



BARRICADE PLAN
N.T.S.

TREE PROTECTION BARRICADE DETAIL

REVISIONS	BY
 CITY 2ND REVIEW COMMENTS	CKS/JOB
 CITY 2ND REVIEW COMMENTS	CKS/JOB

KPMFranklin
ENGINEERS - PLANNERS - SURVEYORS
6800 HAZELTINE NATIONAL DRIVE, STE. 118
ORLANDO, FL 32822 | PHONE (407) 410-8894
CERTIFICATE OF AUTHORIZATION: 32089

KPMFranklin
WARNING: THIS BAR DOES NOT MEASURE 1" = 20'. THIS COPY OF THIS DRAWING IS NOT TO SCALE.

JAMES D. BROWN, RLA
FLORIDA #001508

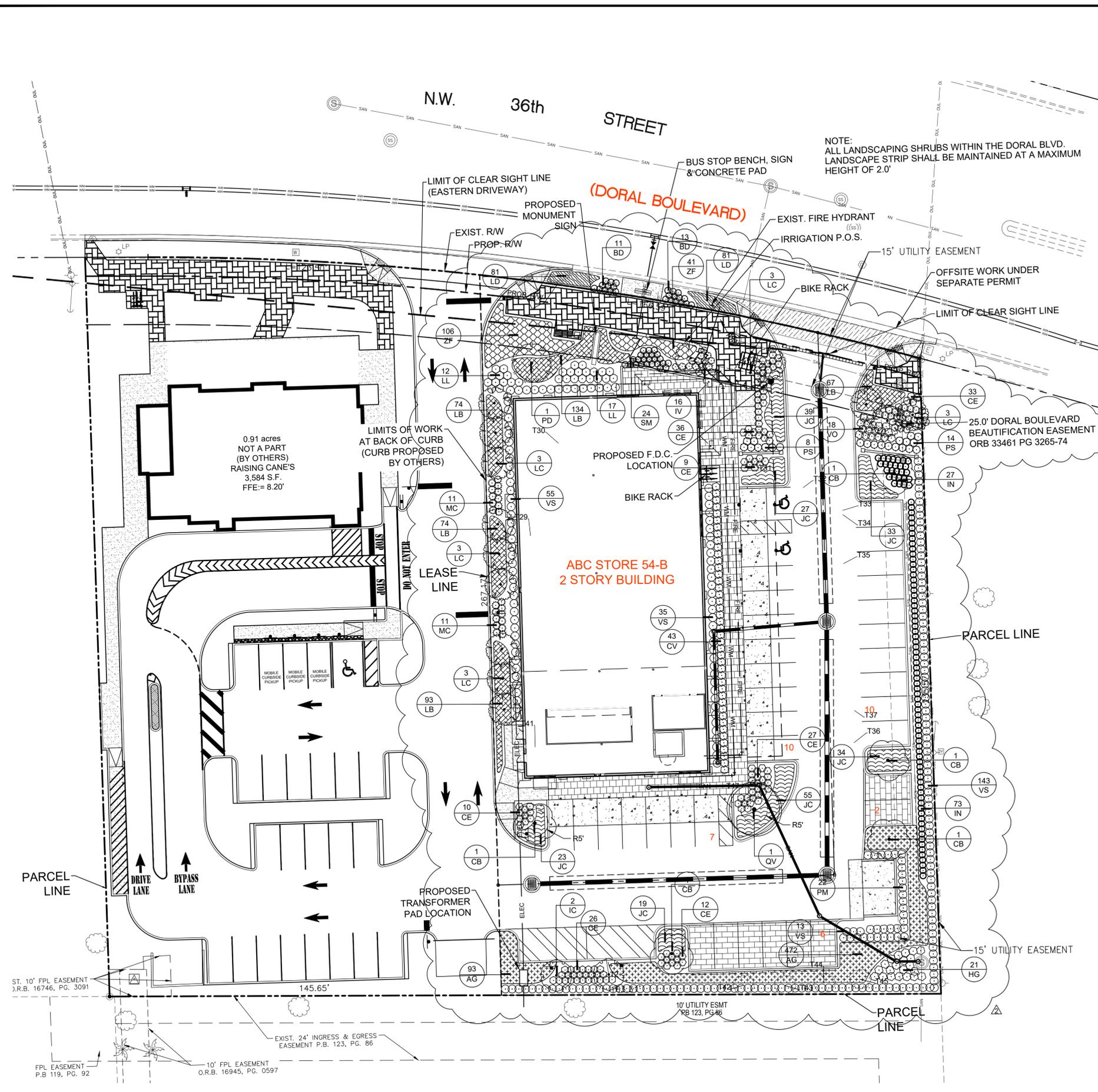
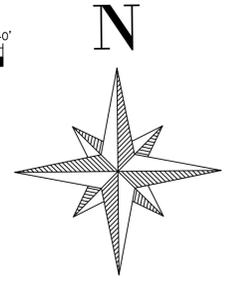
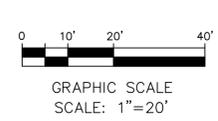


ABC LIQUORS INC.
8989 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

DRAWN: JDB
CHECKED: JDB
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
SCALE: 1"=40'(11x17)
JOB No: 21-0111.000

SHEET:
T1

REVISIONS	BY
△ CITY 2ND REVIEW COMMENTS	CKS/JDB
△ CITY 2ND REVIEW COMMENTS	CKS/JDB



TREE MITIGATION GUIDELINES

If you plant:	With this minimum height:	Credit in square feet (SF)	*Credit provided (SF)
Shade (Hardwood) Tree 1	Minimum 12' Overall Height	500	3,000
Shade (Hardwood) Tree 2	Minimum 8' Overall Height	300	2,700
Palm Tree 1	Minimum 10' Clear Trunk	300	2,700
Palm Tree 2	Minimum 3' Clear Trunk	100	0
Small Tree	Minimum 6' Overall Height	200	0
Total Credit Provided (SF)		8,400	

Notes: Refer to sheet T1 for tree mitigation requirements table.

(* Refer to Plant Schedule on sheet L2

TREE TABLE

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T44	MAHOGANY	18	25	35	REMAIN
T45	TREE	24	35	25	REMAIN
T47	PALM	3	6	5	REMOVE

PROPOSED PLANT LEGEND

PLANT SCHEDULE	SYMBOL	PLANT NAME	SIZE	PLACEMENT	NOTES
1	○	Black Olive	20"	1	Remove
2	○	Black Olive	20"	1	Remove
3	○	Black Olive	20"	1	Remove
4	○	Black Olive	20"	1	Remove
5	○	Black Olive	20"	1	Remove
6	○	Black Olive	20"	1	Remove
7	○	Black Olive	20"	1	Remove
8	○	Black Olive	20"	1	Remove
9	○	Black Olive	20"	1	Remove
10	○	Black Olive	20"	1	Remove
11	○	Black Olive	20"	1	Remove
12	○	Black Olive	20"	1	Remove
13	○	Black Olive	20"	1	Remove
14	○	Black Olive	20"	1	Remove
15	○	Black Olive	20"	1	Remove
16	○	Black Olive	20"	1	Remove
17	○	Black Olive	20"	1	Remove
18	○	Black Olive	20"	1	Remove
19	○	Black Olive	20"	1	Remove
20	○	Black Olive	20"	1	Remove
21	○	Black Olive	20"	1	Remove
22	○	Black Olive	20"	1	Remove
23	○	Black Olive	20"	1	Remove
24	○	Black Olive	20"	1	Remove
25	○	Black Olive	20"	1	Remove
26	○	Black Olive	20"	1	Remove
27	○	Black Olive	20"	1	Remove
28	○	Black Olive	20"	1	Remove
29	○	Black Olive	20"	1	Remove
30	○	Black Olive	20"	1	Remove
31	○	Black Olive	20"	1	Remove
32	○	Black Olive	20"	1	Remove
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50	○	Black Olive	20"	1	Remove
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57	○	Black Olive	20"	1	Remove
58	○	Black Olive	20"	1	Remove
59	○	Black Olive	20"	1	Remove
60	○	Black Olive	20"	1	Remove
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95	○	Black Olive	20"	1	Remove
96	○	Black Olive	20"	1	Remove
97	○	Black Olive	20"	1	Remove
98	○	Black Olive	20"	1	Remove
99	○	Black Olive	20"	1	Remove
100	○	Black Olive	20"	1	Remove



WARNING
IF THIS BAR DOES NOT MEASURE 1"=20' THIS COPY OF THIS DOCUMENT IS NOT TO SCALE

JAMES D. BROWN, RLA
FLORIDA #001508



ABC LIQUORS INC.
8989 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 N.W. 36 STREET
DORAL, FL 33166

LANDSCAPE PLAN
DRAWN: JDB
CHECKED: JDB
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
SCALE: 1"=40'(11x17)
JOB No: 21-0111.000
SHEET:
L1

P:\ABC\FWS\ABC_Store_054B_Doral\03-Plans\1_L_054b_Landscape Plan.dwg Plotted: Apr 19, 2023 - 3:13pm by RCalbroth

LANDSCAPE CODE CALCULATIONS

ZONING DISTRICT: CC NET LOT AREA: 0.95 ACRES or 41,290 SF

OPEN SPACE:

	REQUIRED	PROVIDED
A Square feet of open space required by Chapter 71, as indicated on site plan Net Lot Area= 41,290 SF x 10% =	4,129 SF	10,353 SF
B Square feet of parking lot open space required by Chapter 18A as indicated on site plan The number of parking spaces = 35 x 10 SF per parking space =	350 SF	662 SF
C Total SF of landscape open space required by Chapter 71 = A + B	4,479 SF	11,015 SF

LAWN AREA CALCULATION

A Total square feet of landscape open space required by Chapter 71 =	4,479 SF
B Maximum lawn area permitted = 20% x required landscape open space =	896 SF

Note: Very dry tolerant grasses and low growing native plants, including grasses and forbs, as referenced in the Landscape Manual, may be used as ground cover beyond the maximum permitted grass area specified.

TREES

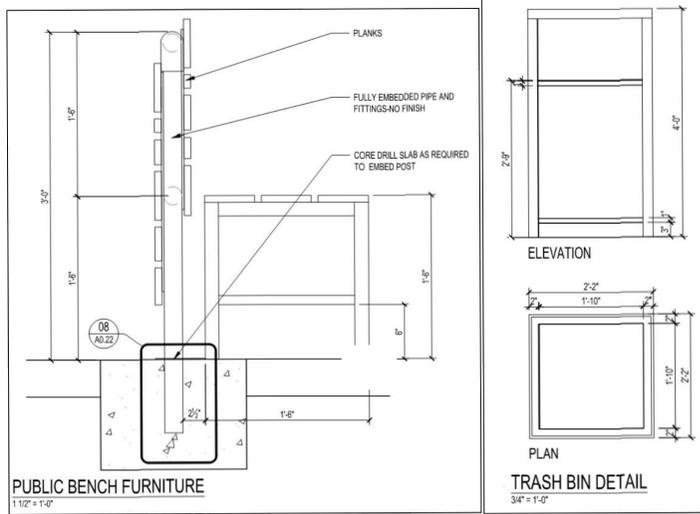
A The number of site trees required per net lot area = 22 site trees per net lot area less the existing number of trees that meet minimum requirements required trees x net lot acreage = 21 trees (22 X .95 Ac.)	21 trees	24
B 30% palm trees allowed (two palms = one tree) =	0	0
C Percentage of native trees required = the number of trees provided X 30% =	7 trees	9
D Percentage of low maintenance and drought tolerant trees = provided trees x 50% =	13 trees	21
E Street trees (max average spacing of 35' OC) 104 linear feet along street / 35' =	3 trees	2 trees
F Street trees located directly underneath powerlines (max average spacing of 25' OC) 0 linear feet along street / 25' =	0 trees	0 trees
G Total number of trees provided required site trees + street trees =	20 trees	24

SHRUBS

A The total number of trees required x 10 = the number of shrubs required	210 shrubs	855
B The number of shrubs required x 50% = the number of native shrubs required	105 shrubs	183

IRRIGATION PLAN
Required by Chapter 71
Auto Irrigation x

(* Due to site access, sight visibility restrictions, and lateral offset restrictions the site is unable to accommodate any street trees within the right-of-way. Street trees will be planted within the Beautification Easement as available.

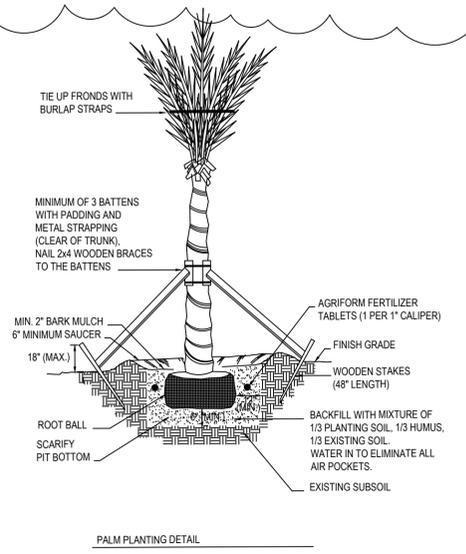
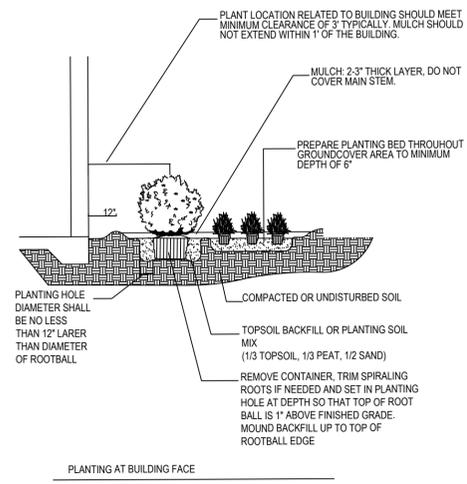
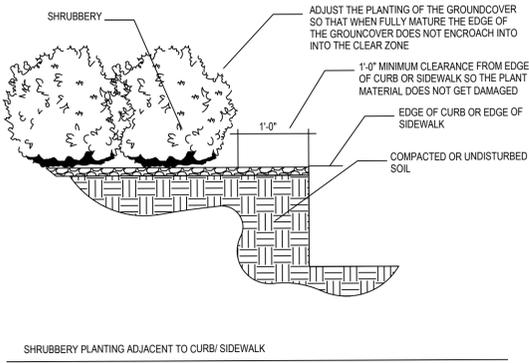
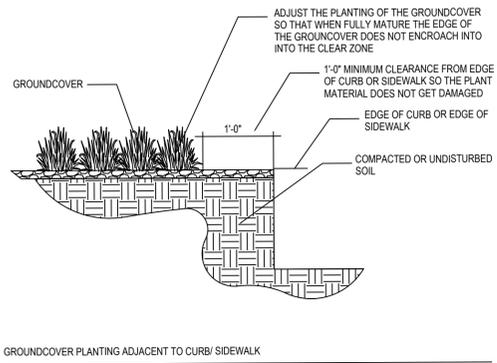
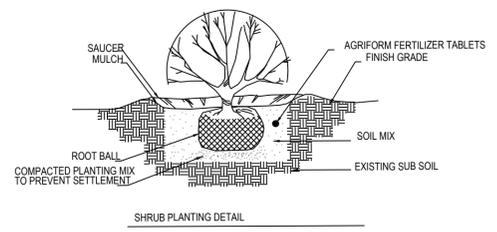
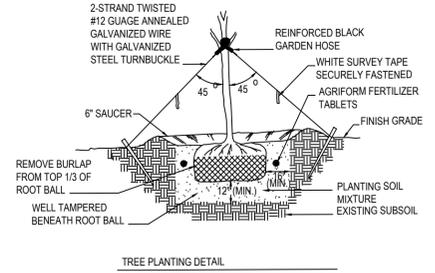
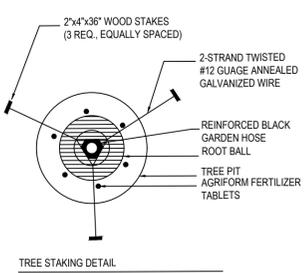


per division 3- Trees section 71-110:
50% of the required trees/ palms shall be native
80% shall be listed in the miami- dade county landscape manual,
florida-friendly landscaping guide to plant selection & landscape design

TREES:
TOTAL SPECIES IN MANUALS 6 (83.3%)
NOT IN MANUALS 1 (16.7%)
TOTAL native 50% min.
native 4 (66.6%)
non- native 2 (33.3%)

per division 4: shrubs, vines, groundcover & mulch - section 71.144
80% OF SHRUBS SHALL BE LISTED IN THE miami- dade county LANDSCAPE MANUAL
manual, doral blvd. master plan, florida friendly landscaping guide to plant selection & landscape design, south florida water management district waterwise: south florida landscapes publication or as approved by the city arborists.

SHRUBS:
TOTAL SPECIES IN MANUALS 13
NOT IN MANUALS 0
TOTAL native 50% min.
native 7 (53.8%)
not native 6 (46.1%)



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
CB	Conocarpus erectus	Buttonwood	14' H., 4'-5' Spread, 30' CT, 2.5' DBH	Container to match tree size	5			Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
IC	Ilex coccinea	Daboon Holly	12' H., 4' Spread, 3' CT, 2' DBH	Container to match tree size	2			Native, in Doral Blvd. Master Plan Plant List & Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Not in Miami-Dade County Landscape Manual	
LC	Lagerstroemia indica	White Crape Myrtle	10' H., 5' Spread, 2' Cal. Combined, Multi-Trunk	45 Gallon, Full	15			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
PO	Phoenix dactyloides	Medjool Date Palm	6' Clear Trunk Min.	Field Grown	1			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. Florida Ficusy guarantee for 1 year to grower	
QV	Quercus virginiana	Southern Live Oak	14' H., 5' Spread, 4' Clear Trunk, 3.5' DBH	Container to match tree size	1			Native, NOT in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
BD	Bryonia dioica	Snowbush	18' H., 18' Spread, Planted 2.0' On Center	3 Gallon, Full	24			Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
CE	Cercis magnifica	Emerald Street	Emerald Blakely Red Plum	18' H., Full	3 Gallon, Full	153		Non-Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
CV	Codiaeum variegatum	Curling Crotton	4' H., 3' Spread, Full	7 Gallon, Full	43			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
HS	Hibiscus grandiflorus	Sweep Rosebush	24' H., 18' Spread, Full	3 Gallon, Full	21			Native, in Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Not in Doral Blvd.	
IV	Ilex vomitoria	Yaupon Holly	24' H., 18' Spread, Full		16			Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
IN	Isora x Nora Grant	Nora Grant Isora	24' H., 24' Spread, Planted 2.0' O.C.	3 Gallon, Full	100			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
LL	Lycyna totota	Tetherbush	18' H., Full	3 Gallon, Full	29			Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
MC	Muhlenbergia capillaris	Pink Muhly Grass	24' H., 18' Spread, Full	3 Gallon, Full	22			Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
PS	Philodendron salomon	Salmon Philodendron	24' H., 24' Spread, Planted 2.0' O.C.	3 Gallon, Full	22			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
PM	Podocarpus macrophyllus	Yew Podocarpus	48' H., 18' Spread, Full	7 Gallon, Full	22			Non-Native, in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Truncated to 4' height after installation	
SM	Scaevola minor	Dwarf Palmetto	18' H., Full	3 Gallon, Full	24			Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
VO	Viburnum obtatum	Water x Viburnum	24' H., 24' Spread, Planted 2.0' O.C.	3 Gallon, Full	18			Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
VS	Viburnum suspensum	Sanderling Viburnum	24' H., 18' Spread, Full	Container to match shrub size	248			Non-Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
GROUNDCOVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL	REMARKS
AG	Azalea glabra	Floralist Peanut	5-7 Runners, Min., Full	1 Gallon	18" o.c.	566			Non-Native, in The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Not in Doral Blvd. Master Plan Plant List or Miami-Dade County Landscape Manual
JC	Juncus carterii	Blue Pacific Shore Juniper	8' H., 12' Spread, Planted 2.0' O.C.	3 Gallon, Full	24" o.c.	268			Non-Native, in Doral Blvd. Master Plan Plant List & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Not in Miami-Dade County Landscape Manual
LD	Lantana depressa	Depressed Shrubvetaria	12'-14' H., 5-7 pipe, Full	1 Gallon	12" o.c.	162			Native, in Doral Blvd. Master Plan Plant List & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Not in Miami-Dade County Landscape Manual
LB	Liriodendron Big Blue	Big Blue Lilyturf	5-7 pipe, Full	1 Gallon	18" o.c.	442			Non-Native, Not in Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual. In Florida Friendly Landscaping Guide to Plant Selection & Landscape Design
ZF	Zamia floridana	Native Zamia	12'-14' H., 5-7 pipe, Full	3 Gallon, Full	24" o.c.	147			Native, in The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design. Master Plan Plant List. Not in the Miami-Dade County Landscape Manual

REVISIONS

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JDB
CITY 2ND REVIEW COMMENTS	CKS/JDB

KPMFranklin
ENGINEERS - PLANNERS - SURVEYORS
8800 HAZELTINE NATIONAL DRIVE, SUITE 118
DORAL, FL 33126
CERTIFICATE OF AUTHORIZATION: 30389

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JAMES D. BROWN, RLA
FLORIDA #001508

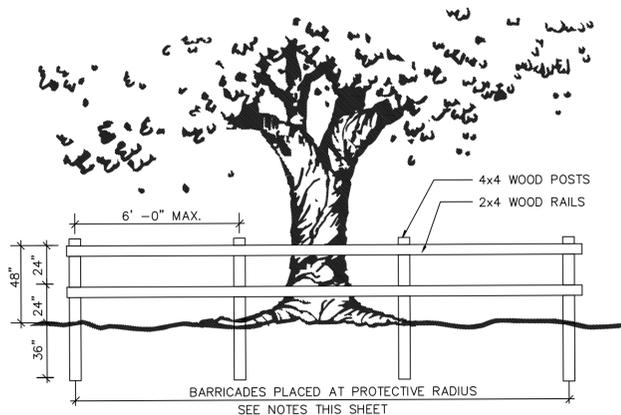
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GENERAL LANDSCAPE NOTES

- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER 'GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS", OCTOBER, 1980.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.I.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE THAT IS CONDUCIVE TO THE PROPER GROWTH OF THE PLANT MATERIAL. SOIL IN PLANTING AREAS SHALL BE LOOSE, PERMEABLE, FRIABLE AND FREE OF LIMESTONE AND OTHER CONSTRUCTION MATERIALS
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH TWO AND ONE-HALF INCHES (2 1/2") OF EUCALYPTUS MULCH, PINE STRAW, OR PINE BARK MULCH. THE USE OF CYPRESS MULCH IS DISCOURAGED. ALL MULCH IS TO BE KEPT A MINIMUM OF 3 INCHES AWAY FROM THE TREE TRUNKS.
- NO TREES SHALL BE PLANTED CLOSER THAN 3 FEET (3') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL. STAKING OF PALMS, IF DESIRED, SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT. PALM TRUNKS TO BE STRAIGHT, AND THE CALIPER OF PALMS MUST BE THE SAME THE ENTIRE LENGTH OF TRUNK INCLUDING THE TOP OF THE TRUNK WHERE THE FRONDS BEGIN. PALM TRUNKS SHALL BE A 12" MINIMUM CALIPER FOR SABAL PALMS. PALMS SHALL BE PLANTED WITH THE BUD PERPENDICULAR TO THE GROUND PLANE.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOIST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SODDED. SOD SHALL BE ST. AUGUSTINE FLORATAM SOD. ALL EXISTING SOD AREAS TO BE RETURNED TO PRE-CONSTRUCTION STATE.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, DIRECT SPRAY HEADS AWAY FROM NATURAL AREAS AND PAVED SURFACES. ALL VALVES SHALL BE PLACED IN VALVE BOXES SIZED FOR EASE OF MAINTENANCE. ALL PIPING AND WIRES UNDER ROADWAYS TO BE IN PVC SCHEDULE 40 SLEEVING. ALL IMPACT TYPE SPRINKLER HEADS, WHEN ON RISERS, SHALL BE SUPPORTED BY A METAL STAKE WITH STAINLESS STEEL CLAMPS (STAKE AND PIPE TO BE PAINTED BLACK). BACKFLOW PREVENTORS SHALL BE SPECIFIED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. ALL MAINLINE PIPING AND LATERAL PIPES TO CONFORM TO THE ASTM STANDARDS FOR PVC PIPING AND FITTINGS AND TO BE INSTALLED IN ACCORDANCE WITH SOUND INDUSTRY STANDARDS. THE PLANS WILL REQUIRE THE LANDSCAPE CONTRACTOR TO PREPARE AND SUBMIT IRRIGATION SHOP DRAWINGS, THE LANDSCAPE ARCHITECT WILL REVIEW THE SHOP DRAWINGS ON BEHALF OF THE OWNER.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE PERFORMANCE OF THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS. IN ALL CASES THE SPECIFIED SIZE OF THE PLANT MATERIAL SHALL HAVE PRECEDENCE OVER THE CONTAINER SIZE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES IN LOCATING THE PLANT MATERIAL AS SPECIFIED.
- ALL LANDSCAPING SHALL MEET OR EXCEED THE REQUIREMENTS SET FORTH BY THE CITY OF DORAL, FLORIDA AND ANY OVERLAY DISTRICTS THAT MAY APPLY.
- ALL EXISTING PROHIBITED VEGETATION SHALL BE REMOVED FROM SITE.
- CANOPY TREE BRANCHES OR PALM TREE FRONDS WITHIN 10 FEET OF EXISTING OVERHEAD TRANSMISSION OR DISTRIBUTION LINES, MEASURED RADIALLY FROM THE LINE, SHALL BE SUBJECT TO TRIMMING OR REMOVAL BY THE POWER COMPANY AS NECESSARY TO MAINTAIN PUBLIC OVERHEAD UTILITIES IN ACCORDANCE WITH THE NATIONAL ELECTRIC SAFETY CODE (NEISC). ALL INVASIVE & EXOTIC PLANT MATERIAL SHALL BE REMOVED AND ERADICATED FROM THE SITE.
- ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS BUT NOT LIMITED TO, EXTERIOR UTILITY BOXES, METERS & TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED A MINIMUM OF 6" ABOVE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE.



TREE PROTECTION BARRICADE DETAIL (BY OTHERS)

SCALE: N.T.S.

TREE PROTECTION REQUIREMENTS (BY OTHERS)

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
 - EXCESS FOOT OR VEHICULAR TRAFFIC
 - PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET (PLAN & DETAIL), BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 4 X 4 POSTS AND 2-2X4 RAILS AT 2' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM CLEAR DISTANCE OF 6' FROM THE FACE OF ANY TREES 12" DBH AND UNDER AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 12" DBH, BARRICADES SHALL BE NO CLOSER THAN 10' FROM FACE OF TREE. WHEN PAVING, EXCAVATION, OR HARDCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
- WHEN NECESSARY TO CUT ROOT OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT, COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
- NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
- INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE, BY A QUALIFIED TREE SURGEON.
- REPAIR OR REPLACE TREES INDICATED TO REMAIN, WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS, PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION CAUSED BY THE DAMAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH SIMILAR SPECIES, QUANTITY AND SIZE OF TREES AS DETERMINED BY JURISDICTION REQUIREMENTS FOR TREE REPLACEMENT. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

ROOT PROTECTION NOTES:

PROTECT AND CARE FOR EXISTING TREE ROOTS TO REMAIN BY MINIMIZING DAMAGE FROM COMPACTION, EXCAVATION AND DISEASE. WHEN WORK IS REQUIRED THAT MAY DAMAGE TREE ROOTS, HAND CLEAR AND EXCAVATE USING NARROW TINE SPADING FORKS, AND COMB SOIL TO EXPOSE ROOTS. DAMAGED ROOTS SHALL BE PRUNED WITH A SHARP CLEAN TOOL. IMMEDIATELY FOLLOWING ROOT PRUNING TREES SHALL BE THOROUGHLY WATERED AND HAVE A FOUR (4) INCH COVER OF CLEAN TOPSOIL.

CANOPY PROTECTION NOTES:

LIFT TREE CANOPY OF EXISTING TREES TO REMAIN ONLY AS REQUIRED ALONG PROPOSED PARKING, DRIVE AISLES AND SIDEWALKS.

TREE PROTECTION BARRIER:

THE PROTECTIVE BARRIER SHALL ENCLOSE AT LEAST THAT AREA WITHIN A RADIUS OF ONE FOOT FOR EVERY INCH OF CALIPER DBH AROUND THE TREE. THE PROTECTIVE BARRIER MAY ENCOMPASS MORE THAN ONE TREE.

PLANTING SPECIFICATIONS

GENERAL WORK INCLUDED LANDSCAPING

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, PLANT MATERIALS, SOIL ADDITIVES, ALL GRADING (FINE & AESTHETIC) MULCHING, FERTILIZATION AND EQUIPMENT. CONTRACTOR SHALL ALSO PROVIDE ALL SERVICES AND MAINTAIN ALL PLANT MATERIAL/ SOD AND IRRIGATION UNTIL FINAL ACCEPTANCE BY OWNER.

QUALITY ASSURANCE TESTING AND INSPECTIONS

- ALL PLANTS SHALL BE SUBJECT TO APPROVAL BY OWNER OR OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT PICTURES THAT REPRESENT THE PLANT MATERIAL AT TIME OF BID. THE OWNER OR OWNERS REPRESENTATIVE HAS THE RIGHT TO REJECT ANY PLANT MATERIAL UPON REACHING THE SITE OR AFTER PLANTING SHOULD THAT PLANT MATERIAL NOT BE REPRESENTATIVE OF THE PICTURE. ALL PLANT MATERIAL SHALL MEET OR EXCEED FLORIDA #1 GRADES AND STANDARDS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE SOIL CONDITIONS AT TIME OF PLANTING. THE CONTRACTOR SHALL PERFORM RANDOM SOIL SAMPLES, ANY UNSUITABLE SOILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO PLANTING IN THAT AREA.

PERFORMANCE

- ALL PLANTING SHALL COMPLY WITH LOCAL CODES AND REGULATIONS.
- ALL PLANTINGS SHALL BE COORDINATED WITH OTHER TRADES THAT MAY BE WORKING IN THAT AREA TO PREVENT ANY DAMAGE TO SAID PLANT MATERIAL.

SUBMITTALS

- THE CONTRACTOR SHALL SUBMIT TO THE OWNER & OWNERS REPRESENTATIVE WITHIN FOURTEEN (14) DAY AFTER AWARD OF CONTRACT THE AVAILABILITY AND SOURCE OF PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS ON THE PLANT LIST UNLESS OTHERWISE NOTED OF A SUBSTITUTION. THE OWNER HAS THE RIGHT TO HAVE THE OWNERS REPRESENTATIVE COORDINATE WITH THE CONTRACTOR A FIELD TAGGING TRIP TO SAID NURSERIES FOR ALL TREES, ACCENT MATERIAL OR SPECIMEN MATERIAL SUCH AS TREES AND PALMS.
- IF ANY OF THE PLANT MATERIAL IS UNAVAILABLE , THE CONTRACTOR SHALL SUBMIT DOCUMENTATION FROM A MINIMUM OF THREE (3) REGISTERED NURSERIES STATING THE UNAVAILABILITY AT WHICH POINT A REQUEST FOR SUBSTITUTION IS SUBMITTED.

PROJECT CONDITIONS

- DO NOT COMMENCE ON ANY PLANTING UNTIL SITE HAS BEEN GRADED AND ANY SOIL IMPORTING OR EXPORTING HAS BEEN DONE.
- INSPECT IRRIGATION SYSTEM AND FINISH GRADING PRIOR TO COMMENCING PLANTING.

WARRANTY

- THE CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWELVE (12) MONTHS AND ALL SOD FOR A PERIOD OF SIX (6) MONTHS AFTER THE DATE OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL SUBMIT MONTHLY REPORTS TO THE OWNER AS TO THE CONDITION OF SAID LANDSCAPING AND REPORT ANY MAINTENANCE DEFICIENCIES. IT IS THE CONTRACTORS RESPONSIBILITY TO CREATE THESE REPORTS TO PROTECT THE WARRANTY. FAILURE TO MAKE THESE REPORTS SHALL ELIMINATE ANY CLAIMS THAT MAY ARISE DURING THE WARRANTY PERIOD.
- ALL PLANT MATERIAL DEEMED EITHER DEAD OR DYING SHALL BE REPLACED WITHIN TWO WEEKS OF SAID NOTICE BY THE OWNER. ALL REPLACED MATERIAL SHALL HAVE THE SAME WARRANTY AS DESCRIBED ABOVE FROM THE DATE OF REPLACEMENT.

PRODUCT HANDLING

- ALL PLANT MATERIAL TRANSPORTATION SHALL COMPLY WITH ALL STATE AND FEDERAL GUIDELINES.
- ALL FERTILIZER SHALL BE SHIPPED TO THE SITE IN UN-OPENED CONTAINERS WITH THE PROPER LABELING VISIBLE.
- ALL PLANT MATERIAL SHALL BE PROPERLY HANDLED DURING TRANSPORTATION TO PREVENT ANY DAMAGE.

VERIFICATION OF DIMENSIONS AND QUANTITIES

- ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY AND CHECK ALL SAID DIMENSIONS AND QUANTITIES AND SHALL INFORM THE OWNER OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL CONDITIONS.

OWNER TAGGED MATERIAL

- ALL PLANT MATERIAL THAT WAS TAGGED BY THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE SAID TAGS VISIBLE AND SHALL NOT BE REMOVED PRIOR TO INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.

JOB CONDITIONS

- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL AND WORK AGAINST ANY INJURY AND SHALL MAINTAIN ALL SAFEGUARDS FOR PROTECTION OF THE PUBLIC. THE CONTRACTOR IS RESPONSIBLE FOR ANY NEGLIGENCE THAT CAUSE AN INJURY OR PROPERTY DAMAGE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO DIGGING AND SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO PLANTING.

PRODUCTS MATERIALS

- ALL PLANT MATERIAL SHALL BE TRUE TO NAME AS ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE PUBLICATION "STANDARD PLANT NAMES".
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL INSPECTIONS AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS". THE MINIMUM GRADE FOR ALL TREES AND PLANT MATERIAL SHALL BE FLORIDA #1 UNLESS OTHERWISE INDICATED.
- THE MINIMUM ACCEPTABLE SIZE FOR ALL TREES AND PLANTS MEASURED AFTER PRUNING SHALL CONFORM TO THOSE STANDARDS AS INDICATED ON THE PLANS.
- THE CLEAR TRUNK OF ALL PALMS SHALL BE MEASURED FORM THE FINISH GRADE TO THE BEGINNING OF THE FRONDS. THE BOOTED PORTION OF THE PALM SHALL BE IN PROPORTION TO THE OVERALL HEIGHT OF THE PALM.
- THE CONTAINER GROWN PLANT MATERIAL SHALL HAVE BEEN IN THAT CONTAINER SIZE LONG ENOUGH TO ESTABLISH A SUBSTANTIAL ROOT GROWTH. ANY ROOT BOUND PLANT MATERIAL WILL BE REJECTED.
- ALL BALLED AND BURLAPPED TREES SHALL BE DUG WITH A FIRM ROOT BALL LARGE ENOUGH TO SUPPORT SAID TREE. THESE TREES SHALL BE HANDLED BY THE ROOT BALL ONLY TO PREVENT ANY DAMAGE TO THE TREE.
- ANY TOPSOIL SHALL BE A FRIABLE LOAM FROM A LOCAL SOURCE AND SHALL CONTAIN AT LEAST 5% OF DECAYED MATERIAL (HUMUS) AND WELL DRAINED. SAID TOPSOIL SHALL BE TESTED ACCORDINGLY BY A REGISTERED LABORATORY AND THE RESULTS PROVIDED TO THE OWNER.
- ALL PLANTER BEDS SHALL BE TREATED WITH THE PRE-EMERGENT TREFLAN AS MANUFACTURED BY ELANCO PRODUCTS COMPANY OR EQUAL.
- ALL MULCH SHALL BE PINE BARK NUGGETT MULCH AND SHALL BE FREE OF ANY WEEDS, STICKS OR OTHER DEBRIS.

EXECUTION INSPECTION

- INSURE THAT THE FINAL GRADE IS TO WITHIN THREE (3) INCHES HAS BEEN ESTABLISHED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING OF PLANTING AND SOD AREAS AS DIRECTED BY THE CIVIL ENGINEERS GRADING PLAN.

PREPARATION

- ALL AREAS TO BE PLANTED SHALL HAVE THE THE TOP TWELVE (12) INCHES OF SOIL LOOSENED EXCEPT ON SLOPES 2:1 OR GREATER.
- ALL SOILS TO BE USED SHALL BE FREE OF ALL ROCKS ONE (1) INCH OR GREATER, FOREIGN DEBRIS, REFUGE, LOOSE ROOTS, CONCRETE, BASE ROCK, PETROLEUM PRODUCT AND THE LIKE.
- ALL GRADING DONE BY THE LANDSCAPE CONTRACTOR SHALL HAVE THE APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. ALL GRADING SHALL BE DONE SO THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT A MINIMUM OF ONE-QUARTER (1/4) INCH PER FOOT.
- ALL EXISTING WEEDS SHALL BE REMOVED PRIOR TO PLANTING.
- ALL TYPES OF GRASSES OTHER THAN THAT PROPOSED SHALL BE REMOVED FROM THE SITE, SUCH AS NUTGRASS, BERMUDA, ST. AUGUSTINE AND THE LIKE.

MATERIALS CONDITION

- ALL PLANT MATERIALS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE UPON ARRIVAL TO THE SITE. SAID PLANT MATERIAL SHALL BE STORED IN AN SECURE AREA UNTIL TIME TO PLANT.
- ALL PLANT MATERIAL SHALL BE FREE OF ANY WEEDS, INSECTS OR DISEASES.
- THE HEIGHT AND SPREAD OF ALL PLANT MATERIAL SHALL BE DONE SO WITH THE BRANCHING IN THE NORMAL POSITION.
- ALL CONTAINER PLANTS SHALL BE REMOVED FROM CONTAINER IN SUCH A MANNER AS TO NOT DISTURB THE ROOT BALL OR PLAN MATERIAL DAMAGED.

LAYOUT

- ALL LARGE PLANTING AREAS SHALL BE LAID OUT ACCORDING TO SAID PLANS PRIOR TO PLANTING TO ASSURE THE DESIRED LOOK.
- IF UNDERGROUND UTILITIES ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE FOR AN ALTERNATIVE LAYOUT.

PLANTING

- ANY EXCESS SOIL GENERATED FROM THE PLANTING HOLES AND NOT USED IN THE BACKFILLING OF SAID PLANTS SHALL BE REMOVED FROM THAT AREA.
- PROTECT THOSE AREAS TO BE PLANTED FROM EXCESSIVE COMPACTION BY THE TRUCKING OF PLANT MATERIAL TO SAID PLANTING AREAS. COMPACTED AREAS SHALL HAVE THE SOIL LOOSENED TO MEET ACCEPTABLE PLANTING CONDITIONS.
- ALL PLANTS SHALL BE PLANTED IN SUCH A MANNER AS TO HAVE THE BEST SIDE FACING THE PUBLIC VIEW.
- SET PLANT MATERIAL PLUMB IN THE HOLE UNTIL THE SOIL HAS BEEN TAMPED FIRMLY AROUND THE ROOT BALL.
- ALL TREES TO BE PLANTED WHERE THE TRUNK AND CROWN OF THE TREE ARE PERPENDICULAR TO THE FINISH GRADE.
- ALL TREE WATERING WELLS SHALL BE AT A MINIMUM THE SAME SIZE AS THE HOLE DUG FOR PLANTING AND WATERED IMMEDIATELY FOLLOWING PLANTING.
- ONCE THE PLANT MATERIAL HAS BEEN WATERED IN AND A PLANT IS DEEMED TO HAVE SETTLED TO DEEP, THE PLANT SHALL BE RAISED ACCORDINGLY TO ALLOW FOR PROPER GROWTH.
- ALL PLANTED AREAS SHALL BE MONITORED FOR THE PROPER AMOUNT OF WATERING DURING THE PLANT ESTABLISHMENT PERIOD OF THIRTY (30) DAYS AND ADJUSTED ACCORDINGLY BY THE IRRIGATION SYSTEM.
- DURING INSTALLATION, GRO-POWER 7 GRAM OR AGRIFORM 21 GRAM TABLETS, OR APPROVED EQUAL SHALL BE PROVIDED IN EACH PLANTING HOLE AS PER MANUFACTURERS SPECIFICATIONS. PLANT TABLETS SHALL BE PLACED 1/3 THE DEPTH OF THE ROOT BALL.
- PRUNING SHALL BE DONE TO REMOVE ANY DAMAGED STEMS ONCE PLANTED, IF THE PLANT IS DAMAGED MORE THAN 25%, THEN THE PLANT IS TO BE RE-PLACED.

SOD PLANTING

- ALL AREAS TO RECEIVE SOD SHALL BE FINE GRADED AND ALL DEBRIS IS TO BE REMOVED. IF SOIL IS COMPACTED THEN THE SOIL SHALL BE LOOSENED TO A DEPTH OF SIX (6) INCHED TO ALLOW FOR PROPER ESTABLISHMENT OF ROOTS.
- ALL SOD SHALL BE LAID WITH TIGHT FITTING JOINTS. SOD STRIPS SHALL BE LAID IN SUCH A MANNER THAT THE PIECES HAVE STAGGERED JOINTS. DO NOT OVERLAP THE EDGES.
- UPON LAYING A LARGE AREA, WATER IMMEDIATELY TO AVOID THE SOD FROM DRYING OUT.
- WHEN WATERING, THE MOISTURE DEPTH SHOULD BE A MINIMUM OF EIGHT (8) INCHES.
- ALL DEAD SOD SHALL BE REPLACED IMMEDIATELY WITH EQUAL SIZE PIECES.

CLEAN UP

- ON A DAILY BASIS, AFTER ALL PLANTING OPERATIONS ARE DONE, ALL EMPTY CONTAINERS, DEBRIS CAUSED BY THE DAYS PLANTINGS SHALL BE REMOVED AND DISPOSED OF.
- ALL SCARS, RUTS, OR OTHER MARKS LEFT ON THE GROUND SHALL BE REPAIRED.

OBSERVATION/ INSPECTION SCHEDULE

- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR OWNERS REPRESENTATIVE IN ADVANCE FOR THE SCHEDULED SITE VISITS AS PRE-DETERMINED BY THE OWNER.
- ALL INSPECTIONS SHALL BE MADE BY EITHER THE OWNER OR OWNERS REPRESENTATIVE, A REPORT OF EACH INSPECTION SHALL BE MADE BY THE LANDSCAPE CONTRACTOR AS TO THE FINDINGS AND TASKS COMPLETED PRIOR TO NEXT SCHEDULED INSPECTION.

PROTECTION OF COMPLETED WORK

- IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROTECT AND SECURE ANY WORK PREVIOUSLY COMPLETED. IF DAMAGE HAS OCCURRED, THEN IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FIX SAID DAMAGES.

FINAL ACCEPTANCE OF INSTALLATION

- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL PLANTED AREAS TO BE FREE OF INSECTS, PESTS AND WEEDS. ANY MOWING, WEEDING, CHEMICAL APPLICATIONS AND WATERING SHALL BE DONE AS REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER OR OWNERS REPRESENTATIVE.
- ANY PRIOR DEFICIENCIES IN THE LANDSCAPE SHALL BE PERFORMED PRIOR TO ACCEPTANCE.
- ONCE THE LANDSCAPE IS ACCEPTED, THE LANDSCAPE CONTRACTOR SHALL BEGIN THE TWELVE (12) MONTH PERIOD FOR TREES, SHRUBBERY AND GROUNDCOVER AND SIX (6) MONTHS FOR SOD AND SHALL REPLACE ANY MATERIAL THAT DIES WITHIN THAT TIME FRAME.

REVISIONS	BY
CITY 2ND REVIEW COMMENTS	CKS/JOB
CITY 2ND REVIEW COMMENTS	CKS/JOB

KPMFranklin
ENGINEERS • PLANNERS • SURVEYORS
8800 INDEPENDENCE DRIVE, SUITE 100
DORAL, FLORIDA 33084
CERTIFICATE OF AUTHORIZATION: 30289

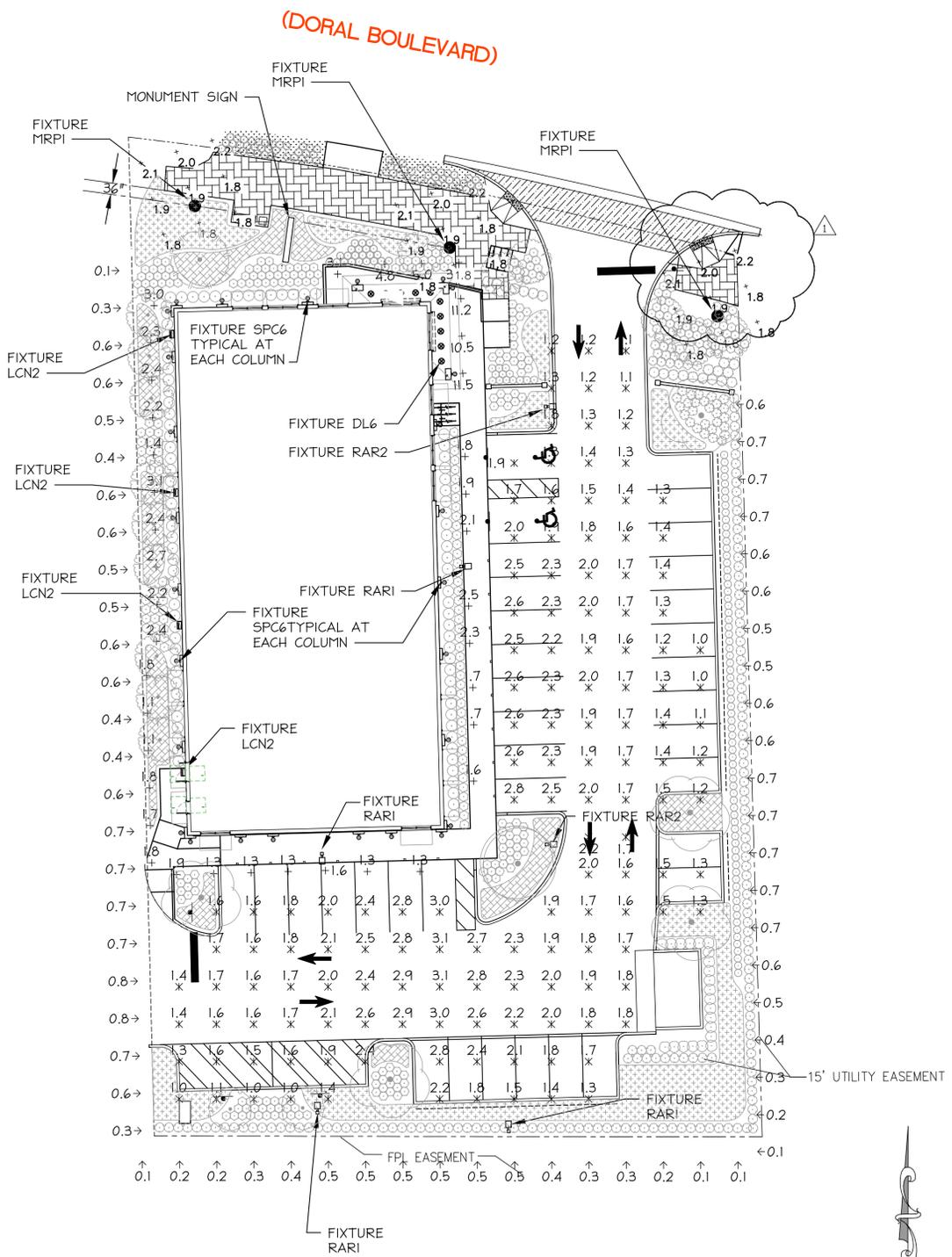
KPMFranklin

JAMES D. BROWN, RLA
FLORIDA #001508

ABC
FINE WINE & SPIRITS

ABC LIQUORS INC.
8889 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

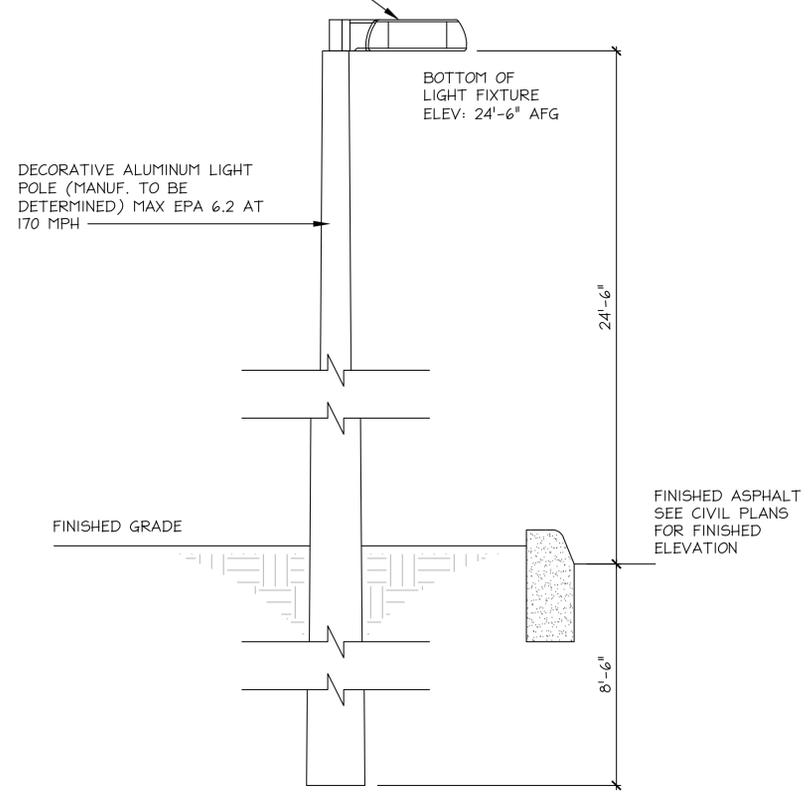
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CHECKED:	JDB
DATE:	MAR., 2023
SCALE:	NOT TO SCALE
JOB No:	21-0111.000
SHEET:	L3



1 SITE LIGHTING PLAN
SCALE: 1" = 20'-0"

HUBBELL OUTDOOR RARI LED
13.5 LBS, .450 EPA

HUBBELL OUTDOOR RAR2 LED
24.0 LBS, .550 EPA



2 SITE LIGHT DETAIL
SCALE: 3/4" = 1'-0"

LUMINAIRE SCHEDULE

Label	Qty	Manuf	Catalog Number	Description	Lamp	Lumen	LLF	Watt
SPC6	27	Spectrum Lighting	SPC 06 18 U DLE DLE	6" LED - ROUND UP/DOWN CYLINDER	2 LED	360	0.92	18.2
DL6	10	Lithonia Lighting	6" DOWNLIGHT	603 delivered lumens SOFFIT LIGHTS	1 LED	602.83	0.92	15.6
LCN2	4	GE Current	LCN2-48-III	LCN2 Wall Pack w/ 48L Microstrike Type III Lens	1 LED	1116	0.92	10
RAR1	4	Hubbell Outdoor	RAR1-80L-50-4K7-4W-U	RATIO series led area luminaire with 80 4000k 70 CRI leds and type 4W lens	1 LED	6212	0.92	49.7
RAR2	2	Hubbell Outdoor	RAR2-320L-110-4K7-5 QW-U	RATIO series led area luminaire with 320 4000k 70 CRI leds and type 5QW lens	1 LED	15457	0.92	100.3
MRPI	3	LITHONIA LIGHTING	MRP LED 1-49 B 350 / 40K SR5	MRP LED WITH HLM MODULE, 49 LED's, 350mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 5 LENS. PLACE 3' FROM EDGE OF SIDEWALK, 100' O.C.	1 LED	5217.91	0.92	100

STATISTICS

	Symbol	Avg	Max	Min	Max / Min	Avg / Min
PARKING	x	1.8 fc	3.1 fc	1.0 fc	3.1:1	1.8:1
SIDEWALK	+	2.9 fc	11.5 fc	1.1 fc	10.5:1	2.6:1
PROPERTY LINE	↑	0.5 fc	0.8 fc	0.0 fc	N/A	N/A

APPLICABLE CODES

Sec. 77-194. - Lighting.

(a) Parking lots of 20 spaces or more that are to be used after dark shall be lighted. The lighting shall not shine directly upon any adjacent residence or street, and shall not produce excessive glare. Commercial lighting shall have glare guards when adjacent to single-family residential units.

(b) A photometric study shall be required as a condition of site plan approval and shall take the proposed landscaping into account when conducting the study.

(c) Trees and foliage shall be logically placed within the landscaped area as not to impede light from reaching the parking stalls and drive aisles. The planting scheme shall incorporate both palms and trees, which mature with medium sized canopies.

(Ord. No. 2007-12, exh. A(ch. IX, §6(k)), 8-22-2007)

ARTICLE XV. - ENERGY-EFFICIENT LIGHTING FOR COMMERCIAL BUILDINGS AND SITES

Sec. 74-876. - LED lighting.
All commercial buildings and associated sites shall utilize LED lighting fixtures for all external lighting.

(Ord. No. 2013-37, §2, 12-3-2014)

DIVISION 3. - STREET, PARKING AND WALK LIGHTING

Sec. 74-466. - Glare.
No glare to the abutting residential shall be allowed due to street, parking and walk lighting.

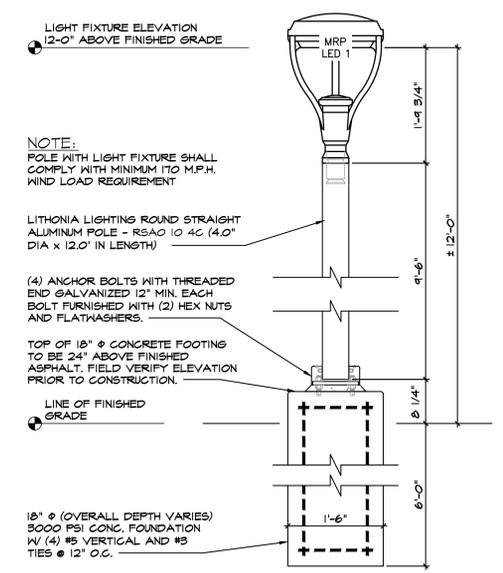
(Ord. No. 2007-12, exh. A(ch. VI, §13(a)), 8-22-2007)

Sec. 74-467. - Photometric study.
Photometric study shall consider proposed foliage for street, parking and walk lighting.

(Ord. No. 2007-12, exh. A(ch. VI, §13(b)), 8-22-2007)

Sec. 74-468. - Agreements to power.
All agreements to power for both public and private streetlights must be in place prior to final plat approval.

(Ord. No. 2007-12, exh. A(ch. VI, §13(c)), 8-22-2007)



3 SITE LIGHTING DETAIL
SCALE: 5/4" = 1'-0"

REVISION	BY
P&Z COMMENTS REVISION 4-18-23	S.R.R.

ALEX PIPER, P.E.
CONSULTING ENGINEER # 42697

VOICE: 407-376-5648
FAX: 866-957-9523
AlexPiperPE@gmail.com

100 Wild Fern Dr.
Longwood, FL 32779

POWER LIGHTING SYSTEMS DATA

ALEX PIPER, P.E.
Registration # 42697

ABC LIQUORS INC.

ABC STORE NO. 054

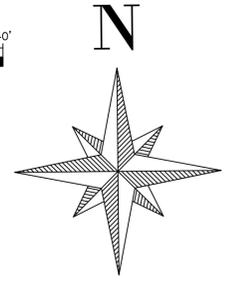
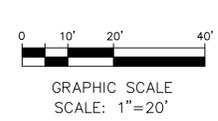
8050-8080 N.W. 36 ST.
DORAL, FL 33166

DRAWN: S.R.R.
CHECKED: A.P.
DATE: 03 / 06 / 2023
SCALE: AS NOTED
JOB No: 054

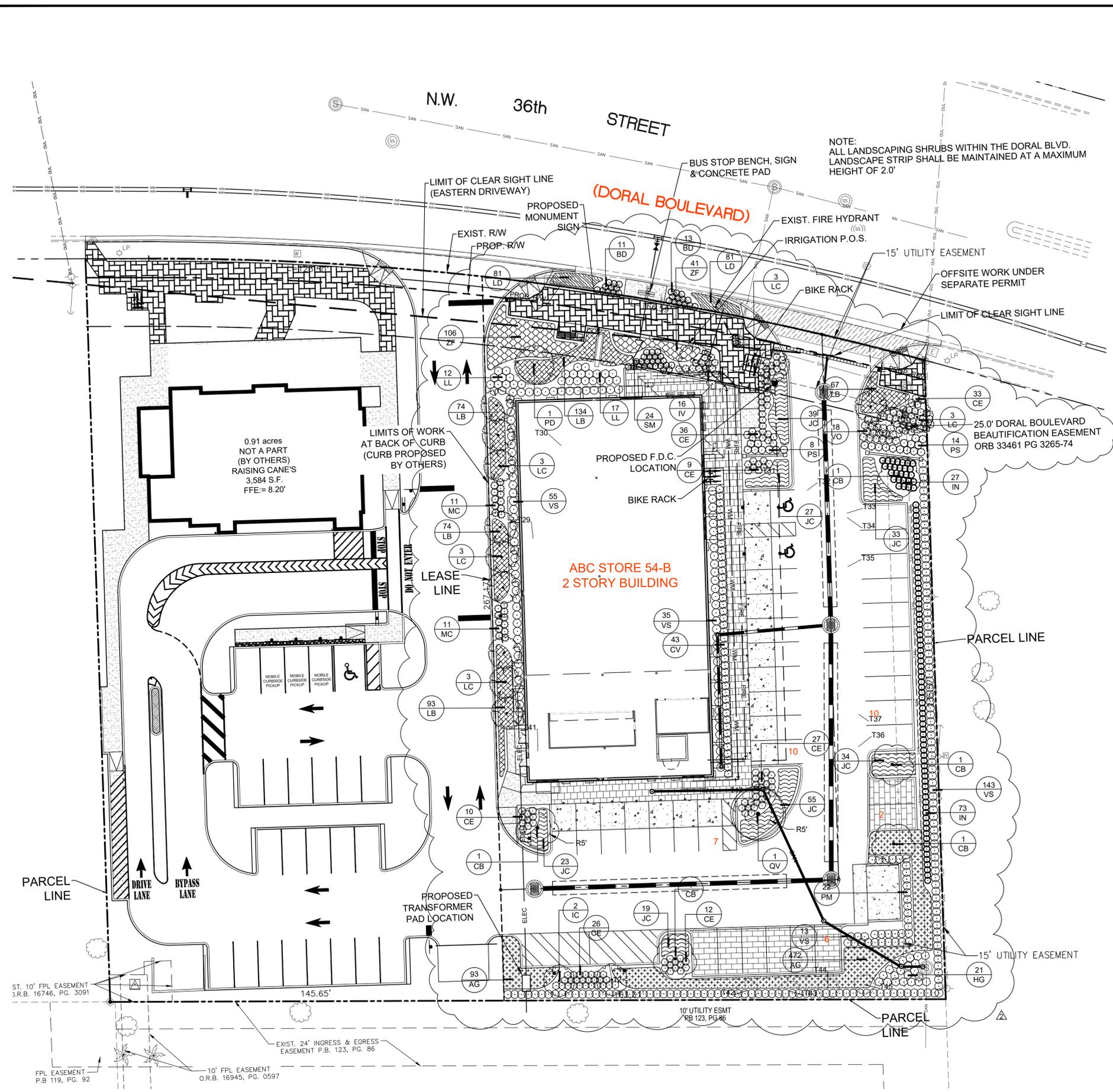
SHEET
SL-1

SITE LIGHTING

REVISIONS	BY
△ CITY 2ND REVIEW COMMENTS	CKS/JDB
△ CITY 2ND REVIEW COMMENTS	CKS/JDB



NOTE: ALL LANDSCAPING SHRUBS WITHIN THE DORAL BLVD. LANDSCAPE STRIP SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 2.0'



TREE MITIGATION GUIDELINES

If you plant:	With this minimum height:	Credit in square feet (SF)	*Credit provided (SF)
Shade (Hardwood) Tree 1	Minimum 12' Overall Height	500	3,000
Shade (Hardwood) Tree 2	Minimum 8' Overall Height	300	2,700
Palm Tree 1	Minimum 10' Clear Trunk	300	2,700
Palm Tree 2	Minimum 3' Clear Trunk	100	0
Small Tree	Minimum 6' Overall Height	200	0
Total Credit Provided (SF)		8,400	

Notes: Refer to sheet T1 for tree mitigation requirements table.

(* Refer to Plant Schedule on sheet L2

TREE TABLE

TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	TREE STATUS
T2	BLACK OLIVE	20	45	30	REMOVE
T29	TREE	20	50	40	REMOVE
T30	TREE	18	45	35	REMOVE
T31	PALM	14	30	15	REMOVE
T32	PALM	4	12	8	REMOVE
T33	PALM	4	12	8	REMOVE
T34	PALM	4	12	8	REMOVE
T35	PALM	4	12	8	REMOVE
T36	PALM	4	12	8	REMOVE
T37	PALM	4	12	8	REMOVE
T41	TREE	24	50	40	REMOVE
T42	MAHOGANY	25	50	35	REMAIN
T43	MAHOGANY	18	25	35	REMAIN
T44	MAHOGANY	18	25	35	REMAIN
T45	TREE	24	35	25	REMAIN
T47	PALM	3	6	5	REMOVE

PROPOSED PLANT LEGEND

PLANT SCHEDULE	SYMBOL	PLANT NAME	SIZE	PLACEMENT	NOTES
1	○	Black Olive	20"	1	Remove
2	○	Black Olive	20"	1	Remove
3	○	Black Olive	20"	1	Remove
4	○	Black Olive	20"	1	Remove
5	○	Black Olive	20"	1	Remove
6	○	Black Olive	20"	1	Remove
7	○	Black Olive	20"	1	Remove
8	○	Black Olive	20"	1	Remove
9	○	Black Olive	20"	1	Remove
10	○	Black Olive	20"	1	Remove
11	○	Black Olive	20"	1	Remove
12	○	Black Olive	20"	1	Remove
13	○	Black Olive	20"	1	Remove
14	○	Black Olive	20"	1	Remove
15	○	Black Olive	20"	1	Remove
16	○	Black Olive	20"	1	Remove
17	○	Black Olive	20"	1	Remove
18	○	Black Olive	20"	1	Remove
19	○	Black Olive	20"	1	Remove
20	○	Black Olive	20"	1	Remove
21	○	Black Olive	20"	1	Remove
22	○	Black Olive	20"	1	Remove
23	○	Black Olive	20"	1	Remove
24	○	Black Olive	20"	1	Remove
25	○	Black Olive	20"	1	Remove
26	○	Black Olive	20"	1	Remove
27	○	Black Olive	20"	1	Remove
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97	○	Black Olive	20"	1	Remove
98	○	Black Olive	20"	1	Remove
99	○	Black Olive	20"	1	Remove
100	○	Black Olive	20"	1	Remove



WARNING: IF THIS BAR DOES NOT MEASURE 1"=20', THIS COPY OF THIS DOCUMENT IS NOT TO SCALE.

JAMES D. BROWN, RLA FLORIDA #001508



ABC LIQUORS INC.
8989 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 N.W. 36 STREET
DORAL, FL 33166

LANDSCAPE PLAN
DRAWN: JDB
CHECKED: JDB
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
SCALE: 1"=40'(11x17)
JOB No: 21-0111.000
SHEET: **L1**

P:\ABC\FWS\ABC_Store_054B_Doral\03-Plans\L1_054b_Landscape Plan.dwg Plotted: Apr 19, 2023 - 3:13pm by RCalbroth

LANDSCAPE CODE CALCULATIONS

ZONING DISTRICT: CC NET LOT AREA: 0.95 ACRES or 41,290 SF

OPEN SPACE:

	REQUIRED	PROVIDED
A Square feet of open space required by Chapter 71, as indicated on site plan Net Lot Area= 41,290 SF x 10% =	4,129 SF	10,353 SF
B Square feet of parking lot open space required by Chapter 18A as indicated on site plan The number of parking spaces = 35 x 10 SF per parking space =	350 SF	662 SF
C Total SF of landscape open space required by Chapter 71 = A + B	4,479 SF	11,015 SF

LAWN AREA CALCULATION

A Total square feet of landscape open space required by Chapter 71 =	4,479 SF
B Maximum lawn area permitted = 20% x required landscape open space =	896 SF

Note: Very dry tolerant grasses and low growing native plants, including grasses and forbs, as referenced in the Landscape Manual, may be used as ground cover beyond the maximum permitted grass area specified.

TREES

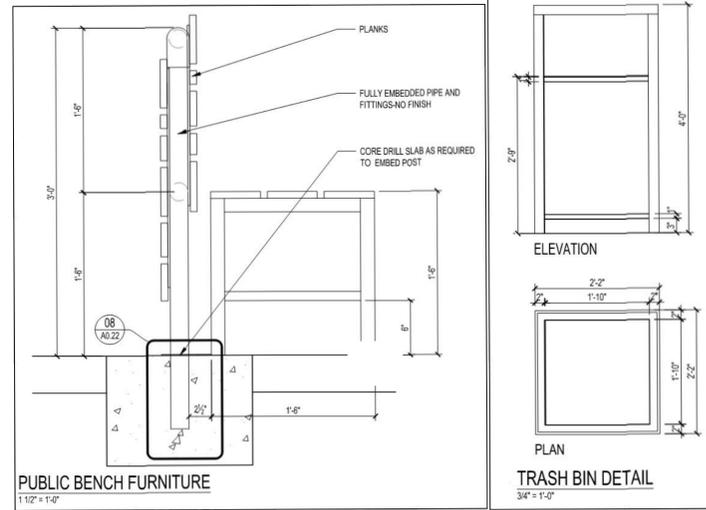
A The number of site trees required per net lot area = 22 site trees per net lot area less the existing number of trees that meet minimum requirements required trees x net lot acreage = 21 trees (22 X .95 Ac.)	21 trees	24
B 30% palm trees allowed (two palms = one tree) =	0	0
C Percentage of native trees required = the number of trees provided X 30% =	7 trees	9
D Percentage of low maintenance and drought tolerant trees = provided trees x 50% =	13 trees	21
E Street trees (max average spacing of 35' OC) 104 linear feet along street / 35' =	3 trees	2 trees
F Street trees located directly underneath powerlines (max average spacing of 25' OC) 0 linear feet along street / 25' =	0 trees	0 trees
G Total number of trees provided required site trees + street trees =	20 trees	24

SHRUBS

A The total number of trees required x 10 = the number of shrubs required	210 shrubs	855
B The number of shrubs required x 50% = the number of native shrubs required	105 shrubs	183

IRRIGATION PLAN
Required by Chapter 71
Auto Irrigation x

(* Due to site access, sight visibility restrictions, and lateral offset restrictions the site is unable to accommodate any street trees within the right-of-way. Street trees will be planted within the Beautification Easement as available.



per division 3- Trees section 71-110:
50% of the required trees/ palms shall be native
80% shall be listed in the miami- dade county landscape manual,
florida-friendly landscaping guide to plant selection & landscape design

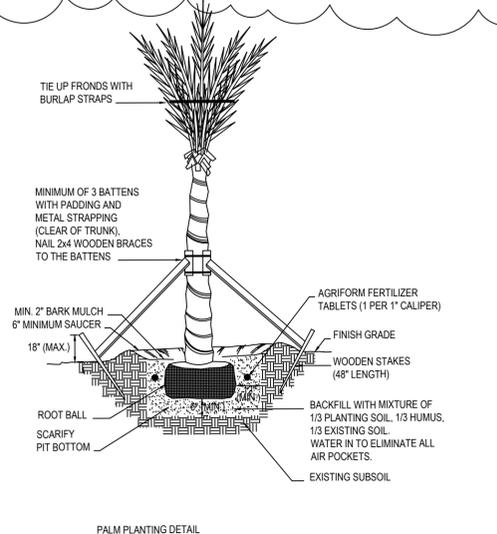
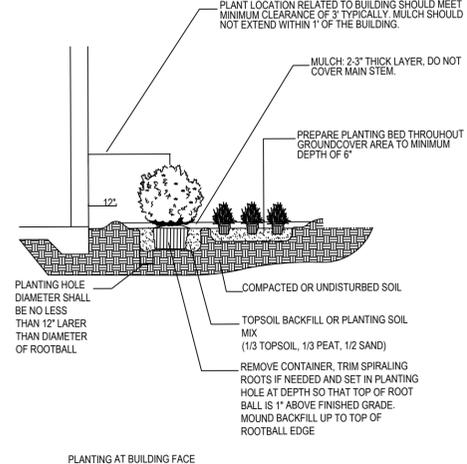
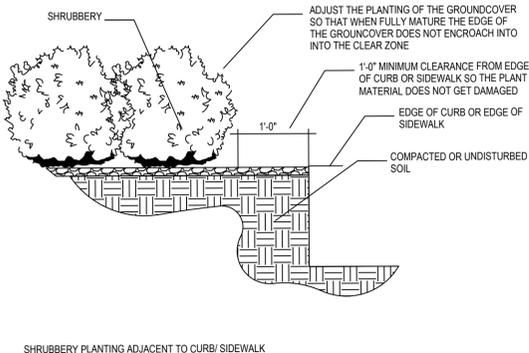
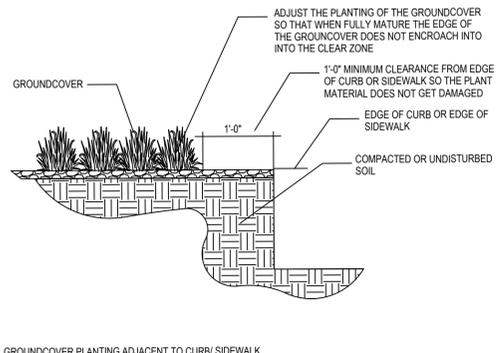
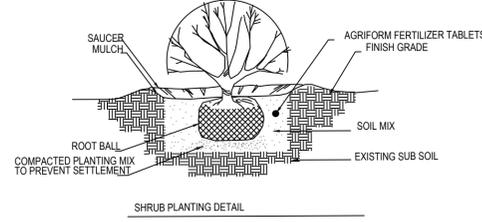
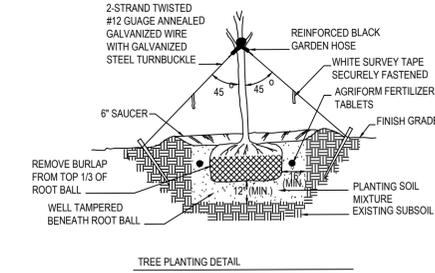
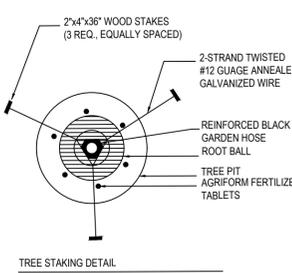
trees:

TOTAL SPECIES	6
in manuals	5 (83.3%)
not in manuals	1 (16.7%)
TOTAL native	50% min.
native	4 (66.6%)
non- native	2 (33.3%)

per division 4: shrubs, vines, groundcover & mulch - section 71.144
80% OF SHRUBS SHALL BE LISTED IN THE miami- dade county LANDSCAPE MANUAL
manual, doral blvd. master plan, florida friendly landscaping guide
to plant selection & landscape design, south florida water management
district waterwise: south florida landscapes publication or as approved
by the city arborists.

SHRUBS:

TOTAL SPECIES	13
IN MANUALS	13
NOT IN MANUALS	0
TOTAL native	50% min.
total species	13
native	7 (53.8%)
not native	6 (46.1%)



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
CB	Conocarpus erectus	Buttonwood	14' H., 4'-5' Spread, 30' CT, 2.5' DBH	Container to match tree size	5			Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual	
IC	Isa casaria	Daboon Holly	12' H., 4' Spread, 3' CT, 2' DBH	Container to match tree size	2			Native, In Doral Blvd. Master Plan Plant List & Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Not in Miami-Dade County Landscape Manual	
LC	Lagerstroemia indica	White Crape Myrtle	10' H., 5' Spread, 2" Cal. Combined, Multi-Trunk	45 Gallon, Full	15			Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual	
PO	Phoenix dactyloides	Medjool Date Palm	6' Clear Trunk Min.	Field Grown	1			Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, Florida Fency guarantee for 1 year to grower	
QV	Quercus virginiana	Southern Live Oak	14' H., 5' Spread, 4' Clear Trunk, 3.5' DBH	Container to match tree size	1			Native, NOT in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
BD	Bryonia dioica	Snowbush	10' H., 10' Spread, Planted 2.0' On Center	3 Gallon, Full	24			Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
CE	Cordia macrocarpa	Emerald Street	Emerald Street Red Plum	10' H., Full	3 Gallon, Full	153		Non-Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
CV	Codiaeum variegatum	Curling Crotton	Curling Crotton	4' H., 3' Spread, Full	7 Gallon, Full	43		Non-Native, In Doral Blvd. Master Plan Plant List & Miami-Dade County Landscape Manual	
HS	Hibiscus grandiflorus	Sweep Rosebush	Sweep Rosebush	24" H., 10" Spread, Full	3 Gallon, Full	21		Native, In Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Not in Doral Blvd.	
IV	Isa vombosa	Yaupon Holly	Yaupon Holly	24" H., 10" Spread, Full		16		Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
IN	Isora x Nora Grant	Nora Grant Isora	Nora Grant Isora	24" H., 24" Spread, Planted 2.0' O.C.	3 Gallon, Full	100		Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual	
LL	Lycyna totida	Tetterbush	Tetterbush	10" H., Full	3 Gallon, Full	29		Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
MC	Muhlenbergia capillaris	Pink Muhly Grass	Pink Muhly Grass	24" H., 10" Spread, Full	3 Gallon, Full	22		Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
PS	Philodendron salomon	Salmon Philodendron	Salmon Philodendron	24" H., 24" Spread, Planted 2.0' O.C.	3 Gallon, Full	22		Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual	
PM	Podocarpus maritimus	Yew Podocarpus	Yew Podocarpus	40" H., 10" Spread, Full	7 Gallon, Full	22		Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Trimm to 4' height after installation	
SM	Scaevola minor	Dwarf Palmetto	Dwarf Palmetto	10" H., Full	3 Gallon, Full	24		Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
VO	Viburnum obtatum	Water x Viburnum	Water x Viburnum	24" H., 24" Spread, Planted 2.0' O.C.	3 Gallon, Full	18		Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
VS	Viburnum suspensum	Sandpaper Viburnum	Sandpaper Viburnum	24" H., 10" Spread, Full	Container to match shrub size	248		Non-Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design	
GROUNDCOVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL	REMARKS
AG	Azalea glabra	Floralist Peanut	Floralist Peanut	5-7 Runners, Min., Full	1 Gallon	18" o.c.	565		Non-Native, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Not in Doral Blvd. Master Plan Plant List or Miami-Dade County Landscape Manual
JC	Juncus carterii	Blue Pacific Shore Juniper	Blue Pacific Shore Juniper	8" H., 12" Spread, Planted 2.0' O.C.	3 Gallon, Full	24" o.c.	260		Non-Native, In Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Not in Miami-Dade County Landscape Manual
LD	Lantana depressa	Depressed Shrubvetaria	Depressed Shrubvetaria	12"-14" H., 5-7 pups, Full	1 Gallon	12" o.c.	162		Native, In Doral Blvd. Master Plan Plant List & The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Not in the Miami-Dade County Landscape Manual
LB	Liriodendron Big Blue	Big Blue Lilyturf	Big Blue Lilyturf	5-7 pups, Full	1 Gallon	18" o.c.	442		Non-Native, Not in Doral Blvd. Master Plan Plant List, In Miami-Dade County Landscape Manual, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design
ZF	Zamia floridana	Native Zamia	Native Zamia	12"-14" H., 5-7 pups, Full	3 Gallon, Full	24" o.c.	147		Native, In The Florida Friendly Landscaping Guide to Plant Selection & Landscape Design, Master Plan Plant List, Not in the Miami-Dade County Landscape Manual

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JAMES D. BROWN, RLA
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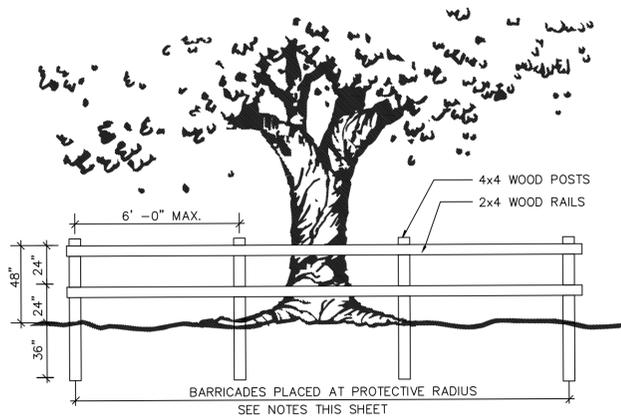
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GENERAL LANDSCAPE NOTES

- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER 'GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS", OCTOBER, 1980.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.I.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE THAT IS CONDUCIVE TO THE PROPER GROWTH OF THE PLANT MATERIAL. SOIL IN PLANTING AREAS SHALL BE LOOSE, PERMEABLE, FRIABLE AND FREE OF LIMESTONE AND OTHER CONSTRUCTION MATERIALS
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH TWO AND ONE-HALF INCHES (2 1/2") OF EUCALYPTUS MULCH, PINE STRAW, OR PINE BARK MULCH. THE USE OF CYPRESS MULCH IS DISCOURAGED. ALL MULCH IS TO BE KEPT A MINIMUM OF 3 INCHES AWAY FROM THE TREE TRUNKS.
- NO TREES SHALL BE PLANTED CLOSER THAN 3 FEET (3') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL. STAKING OF PALMS, IF DESIRED, SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT. PALM TRUNKS TO BE STRAIGHT, AND THE CALIPER OF PALMS MUST BE THE SAME THE ENTIRE LENGTH OF TRUNK INCLUDING THE TOP OF THE TRUNK WHERE THE FRONDS BEGIN. PALM TRUNKS SHALL BE A 12" MINIMUM CALIPER FOR SABAL PALMS. PALMS SHALL BE PLANTED WITH THE BUD PERPENDICULAR TO THE GROUND PLANE.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOIST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SODDED. SOD SHALL BE ST. AUGUSTINE FLORATAM SOD. ALL EXISTING SOD AREAS TO BE RETURNED TO PRE-CONSTRUCTION STATE.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, DIRECT SPRAY HEADS AWAY FROM NATURAL AREAS AND PAVED SURFACES. ALL VALVES SHALL BE PLACED IN VALVE BOXES SIZED FOR EASE OF MAINTENANCE. ALL PIPING AND WIRES UNDER ROADWAYS TO BE IN PVC SCHEDULE 40 SLEEVING. ALL IMPACT TYPE SPRINKLER HEADS, WHEN ON RISERS, SHALL BE SUPPORTED BY A METAL STAKE WITH STAINLESS STEEL CLAMPS (STAKE AND PIPE TO BE PAINTED BLACK). BACKFLOW PREVENTORS SHALL BE SPECIFIED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. ALL MAINLINE PIPING AND LATERAL PIPES TO CONFORM TO THE ASTM STANDARDS FOR PVC PIPING AND FITTINGS AND TO BE INSTALLED IN ACCORDANCE WITH SOUND INDUSTRY STANDARDS. THE PLANS WILL REQUIRE THE LANDSCAPE CONTRACTOR TO PREPARE AND SUBMIT IRRIGATION SHOP DRAWINGS, THE LANDSCAPE ARCHITECT WILL REVIEW THE SHOP DRAWINGS ON BEHALF OF THE OWNER.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE PERFORMANCE OF THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS. IN ALL CASES THE SPECIFIED SIZE OF THE PLANT MATERIAL SHALL HAVE PRECEDENCE OVER THE CONTAINER SIZE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES IN LOCATING THE PLANT MATERIAL AS SPECIFIED.
- ALL LANDSCAPING SHALL MEET OR EXCEED THE REQUIREMENTS SET FORTH BY THE CITY OF DORAL, FLORIDA AND ANY OVERLAY DISTRICTS THAT MAY APPLY.
- ALL EXISTING PROHIBITED VEGETATION SHALL BE REMOVED FROM SITE.
- CANOPY TREE BRANCHES OR PALM TREE FRONDS WITHIN 10 FEET OF EXISTING OVERHEAD TRANSMISSION OR DISTRIBUTION LINES, MEASURED RADIALLY FROM THE LINE, SHALL BE SUBJECT TO TRIMMING OR REMOVAL BY THE POWER COMPANY AS NECESSARY TO MAINTAIN PUBLIC OVERHEAD UTILITIES IN ACCORDANCE WITH THE NATIONAL ELECTRIC SAFETY CODE (NEISC). ALL INVASIVE & EXOTIC PLANT MATERIAL SHALL BE REMOVED AND ERADICATED FROM THE SITE.
- ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS BUT NOT LIMITED TO, EXTERIOR UTILITY BOXES, METERS & TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED A MINIMUM OF 6" ABOVE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE.



TREE PROTECTION BARRICADE DETAIL (BY OTHERS)

SCALE: N.T.S.

TREE PROTECTION REQUIREMENTS (BY OTHERS)

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
 - EXCESS FOOT OR VEHICULAR TRAFFIC
 - PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET (PLAN & DETAIL), BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 4 X 4 POSTS AND 2-2X4 RAILS AT 2' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM CLEAR DISTANCE OF 6' FROM THE FACE OF ANY TREES 12" DBH AND UNDER AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 12" DBH, BARRICADES SHALL BE NO CLOSER THAN 10' FROM FACE OF TREE. WHEN PAVING, EXCAVATION, OR HARDCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
- WHEN NECESSARY TO CUT ROOT OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT, COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
- NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
- INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE, BY A QUALIFIED TREE SURGEON.
- REPAIR OR REPLACE TREES INDICATED TO REMAIN, WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS, PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION CAUSED BY THE DAMAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH SIMILAR SPECIES, QUANTITY AND SIZE OF TREES AS DETERMINED BY JURISDICTION REQUIREMENTS FOR TREE REPLACEMENT. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

ROOT PROTECTION NOTES:

PROTECT AND CARE FOR EXISTING TREE ROOTS TO REMAIN BY MINIMIZING DAMAGE FROM COMPACTION, EXCAVATION AND DISEASE. WHEN WORK IS REQUIRED THAT MAY DAMAGE TREE ROOTS, HAND CLEAR AND EXCAVATE USING NARROW TINE SPADING FORKS, AND COMB SOIL TO EXPOSE ROOTS. DAMAGED ROOTS SHALL BE PRUNED WITH A SHARP CLEAN TOOL. IMMEDIATELY FOLLOWING ROOT PRUNING TREES SHALL BE THOROUGHLY WATERED AND HAVE A FOUR (4) INCH COVER OF CLEAN TOPSOIL.

CANOPY PROTECTION NOTES:

LIFT TREE CANOPY OF EXISTING TREES TO REMAIN ONLY AS REQUIRED ALONG PROPOSED PARKING, DRIVE AISLES AND SIDEWALKS.

TREE PROTECTION BARRIER:

THE PROTECTIVE BARRIER SHALL ENCLOSE AT LEAST THAT AREA WITHIN A RADIUS OF ONE FOOT FOR EVERY INCH OF CALIPER DBH AROUND THE TREE. THE PROTECTIVE BARRIER MAY ENCOMPASS MORE THAN ONE TREE.

PLANTING SPECIFICATIONS

GENERAL WORK INCLUDED LANDSCAPING

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, PLANT MATERIALS, SOIL ADDITIVES, ALL GRADING (FINE & AESTHETIC) MULCHING, FERTILIZATION AND EQUIPMENT. CONTRACTOR SHALL ALSO PROVIDE ALL SERVICES AND MAINTAIN ALL PLANT MATERIAL/ SOD AND IRRIGATION UNTIL FINAL ACCEPTANCE BY OWNER.

QUALITY ASSURANCE TESTING AND INSPECTIONS

- ALL PLANTS SHALL BE SUBJECT TO APPROVAL BY OWNER OR OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT PICTURES THAT REPRESENT THE PLANT MATERIAL AT TIME OF BID. THE OWNER OR OWNERS REPRESENTATIVE HAS THE RIGHT TO REJECT ANY PLANT MATERIAL UPON REACHING THE SITE OR AFTER PLANTING SHOULD THAT PLANT MATERIAL NOT BE REPRESENTATIVE OF THE PICTURE. ALL PLANT MATERIAL SHALL MEET OR EXCEED FLORIDA #1 GRADES AND STANDARDS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE SOIL CONDITIONS AT TIME OF PLANTING. THE CONTRACTOR SHALL PERFORM RANDOM SOIL SAMPLES, ANY UNSUITABLE SOILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO PLANTING IN THAT AREA.

PERFORMANCE

- ALL PLANTING SHALL COMPLY WITH LOCAL CODES AND REGULATIONS.
- ALL PLANTINGS SHALL BE COORDINATED WITH OTHER TRADES THAT MAY BE WORKING IN THAT AREA TO PREVENT ANY DAMAGE TO SAID PLANT MATERIAL.

SUBMITTALS

- THE CONTRACTOR SHALL SUBMIT TO THE OWNER & OWNERS REPRESENTATIVE WITHIN FOURTEEN (14) DAY AFTER AWARD OF CONTRACT THE AVAILABILITY AND SOURCE OF PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS ON THE PLANT LIST UNLESS OTHERWISE NOTED OF A SUBSTITUTION. THE OWNER HAS THE RIGHT TO HAVE THE OWNERS REPRESENTATIVE COORDINATE WITH THE CONTRACTOR A FIELD TAGGING TRIP TO SAID NURSERIES FOR ALL TREES, ACCENT MATERIAL OR SPECIMEN MATERIAL SUCH AS TREES AND PALMS.
- IF ANY OF THE PLANT MATERIAL IS UNAVAILABLE , THE CONTRACTOR SHALL SUBMIT DOCUMENTATION FROM A MINIMUM OF THREE (3) REGISTERED NURSERIES STATING THE UNAVAILABILITY AT WHICH POINT A REQUEST FOR SUBSTITUTION IS SUBMITTED.

PROJECT CONDITIONS

- DO NOT COMMENCE ON ANY PLANTING UNTIL SITE HAS BEEN GRADED AND ANY SOIL IMPORTING OR EXPORTING HAS BEEN DONE.
- INSPECT IRRIGATION SYSTEM AND FINISH GRADING PRIOR TO COMMENCING PLANTING.

WARRANTY

- THE CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF TWELVE (12) MONTHS AND ALL SOD FOR A PERIOD OF SIX (6) MONTHS AFTER THE DATE OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL SUBMIT MONTHLY REPORTS TO THE OWNER AS TO THE CONDITION OF SAID LANDSCAPING AND REPORT ANY MAINTENANCE DEFICIENCIES. IT IS THE CONTRACTORS RESPONSIBILITY TO CREATE THESE REPORTS TO PROTECT THE WARRANTY. FAILURE TO MAKE THESE REPORTS SHALL ELIMINATE ANY CLAIMS THAT MAY ARISE DURING THE WARRANTY PERIOD.
- ALL PLANT MATERIAL DEEMED EITHER DEAD OR DYING SHALL BE REPLACED WITHIN TWO WEEKS OF SAID NOTICE BY THE OWNER. ALL REPLACED MATERIAL SHALL HAVE THE SAME WARRANTY AS DESCRIBED ABOVE FROM THE DATE OF REPLACEMENT.

PRODUCT HANDLING

- ALL PLANT MATERIAL TRANSPORTATION SHALL COMPLY WITH ALL STATE AND FEDERAL GUIDELINES.
- ALL FERTILIZER SHALL BE SHIPPED TO THE SITE IN UN-OPENED CONTAINERS WITH THE PROPER LABELING VISIBLE.
- ALL PLANT MATERIAL SHALL BE PROPERLY HANDLED DURING TRANSPORTATION TO PREVENT ANY DAMAGE.

VERIFICATION OF DIMENSIONS AND QUANTITIES

- ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY AND CHECK ALL SAID DIMENSIONS AND QUANTITIES AND SHALL INFORM THE OWNER OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL CONDITIONS.

OWNER TAGGED MATERIAL

- ALL PLANT MATERIAL THAT WAS TAGGED BY THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE SAID TAGS VISIBLE AND SHALL NOT BE REMOVED PRIOR TO INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.

JOB CONDITIONS

- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL AND WORK AGAINST ANY INJURY AND SHALL MAINTAIN ALL SAFEGUARDS FOR PROTECTION OF THE PUBLIC. THE CONTRACTOR IS RESPONSIBLE FOR ANY NEGLIGENCE THAT CAUSE AN INJURY OR PROPERTY DAMAGE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO DIGGING AND SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO PLANTING.

PRODUCTS MATERIALS

- ALL PLANT MATERIAL SHALL BE TRUE TO NAME AS ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE PUBLICATION "STANDARD PLANT NAMES".
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL INSPECTIONS AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS". THE MINIMUM GRADE FOR ALL TREES AND PLANT MATERIAL SHALL BE FLORIDA #1 UNLESS OTHERWISE INDICATED.
- THE MINIMUM ACCEPTABLE SIZE FOR ALL TREES AND PLANTS MEASURED AFTER PRUNING SHALL CONFORM TO THOSE STANDARDS AS INDICATED ON THE PLANS.
- THE CLEAR TRUNK OF ALL PALMS SHALL BE MEASURED FORM THE FINISH GRADE TO THE BEGINNING OF THE FRONDS. THE BOOTED PORTION OF THE PALM SHALL BE IN PROPORTION TO THE OVERALL HEIGHT OF THE PALM.
- THE CONTAINER GROWN PLANT MATERIAL SHALL HAVE BEEN IN THAT CONTAINER SIZE LONG ENOUGH TO ESTABLISH A SUBSTANTIAL ROOT GROWTH. ANY ROOT BOUND PLANT MATERIAL WILL BE REJECTED.
- ALL BALLED AND BURLAPPED TREES SHALL BE DUG WITH A FIRM ROOT BALL LARGE ENOUGH TO SUPPORT SAID TREE. THESE TREES SHALL BE HANDLED BY THE ROOT BALL ONLY TO PREVENT ANY DAMAGE TO THE TREE.
- ANY TOPSOIL SHALL BE A FRIABLE LOAM FROM A LOCAL SOURCE AND SHALL CONTAIN AT LEAST 5% OF DECAYED MATERIAL (HUMUS) AND WELL DRAINED. SAID TOPSOIL SHALL BE TESTED ACCORDINGLY BY A REGISTERED LABORATORY AND THE RESULTS PROVIDED TO THE OWNER.
- ALL PLANTER BEDS SHALL BE TREATED WITH THE PRE-EMERGENT TREFLAN AS MANUFACTURED BY ELANCO PRODUCTS COMPANY OR EQUAL.
- ALL MULCH SHALL BE PINE BARK NUGGETT MULCH AND SHALL BE FREE OF ANY WEEDS, STICKS OR OTHER DEBRIS.

EXECUTION INSPECTION

- INSURE THAT THE FINAL GRADE IS TO WITHIN THREE (3) INCHES HAS BEEN ESTABLISHED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING OF PLANTING AND SOD AREAS AS DIRECTED BY THE CIVIL ENGINEERS GRADING PLAN.

PREPARATION

- ALL AREAS TO BE PLANTED SHALL HAVE THE THE TOP TWELVE (12) INCHES OF SOIL LOOSENED EXCEPT ON SLOPES 2:1 OR GREATER.
- ALL SOILS TO BE USED SHALL BE FREE OF ALL ROCKS ONE (1) INCH OR GREATER, FOREIGN DEBRIS, REFUGE, LOOSE ROOTS, CONCRETE, BASE ROCK, PETROLEUM PRODUCT AND THE LIKE.
- ALL GRADING DONE BY THE LANDSCAPE CONTRACTOR SHALL HAVE THE APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. ALL GRADING SHALL BE DONE SO THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT A MINIMUM OF ONE-QUARTER (1/4) INCH PER FOOT.
- ALL EXISTING WEEDS SHALL BE REMOVED PRIOR TO PLANTING.
- ALL TYPES OF GRASSES OTHER THAN THAT PROPOSED SHALL BE REMOVED FROM THE SITE, SUCH AS NUTGRASS, BERMUDA, ST. AUGUSTINE AND THE LIKE.

MATERIALS CONDITION

- ALL PLANT MATERIALS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE UPON ARRIVAL TO THE SITE. SAID PLANT MATERIAL SHALL BE STORED IN AN SECURE AREA UNTIL TIME TO PLANT.
- ALL PLANT MATERIAL SHALL BE FREE OF ANY WEEDS, INSECTS OR DISEASES.
- THE HEIGHT AND SPREAD OF ALL PLANT MATERIAL SHALL BE DONE SO WITH THE BRANCHING IN THE NORMAL POSITION.
- ALL CONTAINER PLANTS SHALL BE REMOVED FROM CONTAINER IN SUCH A MANNER AS TO NOT DISTURB THE ROOT BALL OR PLAN MATERIAL DAMAGED.

LAYOUT

- ALL LARGE PLANTING AREAS SHALL BE LAID OUT ACCORDING TO SAID PLANS PRIOR TO PLANTING TO ASSURE THE DESIRED LOOK.
- IF UNDERGROUND UTILITIES ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE FOR AN ALTERNATIVE LAYOUT.

PLANTING

- ANY EXCESS SOIL GENERATED FROM THE PLANTING HOLES AND NOT USED IN THE BACKFILLING OF SAID PLANTS SHALL BE REMOVED FROM THAT AREA.
- PROTECT THOSE AREAS TO BE PLANTED FROM EXCESSIVE COMPACTION BY THE TRUCKING OF PLANT MATERIAL TO SAID PLANTING AREAS. COMPACTED AREAS SHALL HAVE THE SOIL LOOSENED TO MEET ACCEPTABLE PLANTING CONDITIONS.
- ALL PLANTS SHALL BE PLANTED IN SUCH A MANNER AS TO HAVE THE BEST SIDE FACING THE PUBLIC VIEW.
- SET PLANT MATERIAL PLUMB IN THE HOLE UNTIL THE SOIL HAS BEEN TAMPED FIRMLY AROUND THE ROOT BALL.
- ALL TREES TO BE PLANTED WHERE THE TRUNK AND CROWN OF THE TREE ARE PERPENDICULAR TO THE FINISH GRADE.
- ALL TREE WATERING WELLS SHALL BE AT A MINIMUM THE SAME SIZE AS THE HOLE DUG FOR PLANTING AND WATERED IMMEDIATELY FOLLOWING PLANTING.
- ONCE THE PLANT MATERIAL HAS BEEN WATERED IN AND A PLANT IS DEEMED TO HAVE SETTLED TO DEEP, THE PLANT SHALL BE RAISED ACCORDINGLY TO ALLOW FOR PROPER GROWTH.
- ALL PLANTED AREAS SHALL BE MONITORED FOR THE PROPER AMOUNT OF WATERING DURING THE PLANT ESTABLISHMENT PERIOD OF THIRTY (30) DAYS AND ADJUSTED ACCORDINGLY BY THE IRRIGATION SYSTEM.
- DURING INSTALLATION, GRO-POWER 7 GRAM OR AGRIFORM 21 GRAM TABLETS, OR APPROVED EQUAL SHALL BE PROVIDED IN EACH PLANTING HOLE AS PER MANUFACTURERS SPECIFICATIONS. PLANT TABLETS SHALL BE PLACED 1/3 THE DEPTH OF THE ROOT BALL.
- PRUNING SHALL BE DONE TO REMOVE ANY DAMAGED STEMS ONCE PLANTED, IF THE PLANT IS DAMAGED MORE THAN 25%, THEN THE PLANT IS TO BE RE-PLACED.

SOD PLANTING

- ALL AREAS TO RECEIVE SOD SHALL BE FINE GRADED AND ALL DEBRIS IS TO BE REMOVED. IF SOIL IS COMPACTED THEN THE SOIL SHALL BE LOOSENED TO A DEPTH OF SIX (6) INCHED TO ALLOW FOR PROPER ESTABLISHMENT OF ROOTS.
- ALL SOD SHALL BE LAID WITH TIGHT FITTING JOINTS. SOD STRIPS SHALL BE LAID IN SUCH A MANNER THAT THE PIECES HAVE STAGGERED JOINTS. DO NOT OVERLAP THE EDGES.
- UPON LAYING A LARGE AREA, WATER IMMEDIATELY TO AVOID THE SOD FROM DRYING OUT.
- WHEN WATERING, THE MOISTURE DEPTH SHOULD BE A MINIMUM OF EIGHT (8) INCHES.
- ALL DEAD SOD SHALL BE REPLACED IMMEDIATELY WITH EQUAL SIZE PIECES.

CLEAN UP

- ON A DAILY BASIS, AFTER ALL PLANTING OPERATIONS ARE DONE, ALL EMPTY CONTAINERS, DEBRIS CAUSED BY THE DAYS PLANTINGS SHALL BE REMOVED AND DISPOSED OF.
- ALL SCARS, RUTS, OR OTHER MARKS LEFT ON THE GROUND SHALL BE REPAIRED.

OBSERVATION/ INSPECTION SCHEDULE

- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR OWNERS REPRESENTATIVE IN ADVANCE FOR THE SCHEDULED SITE VISITS AS PRE-DETERMINED BY THE OWNER.
- ALL INSPECTIONS SHALL BE MADE BY EITHER THE OWNER OR OWNERS REPRESENTATIVE, A REPORT OF EACH INSPECTION SHALL BE MADE BY THE LANDSCAPE CONTRACTOR AS TO THE FINDINGS AND TASKS COMPLETED PRIOR TO NEXT SCHEDULED INSPECTION.

PROTECTION OF COMPLETED WORK

- IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROTECT AND SECURE ANY WORK PREVIOUSLY COMPLETED. IF DAMAGE HAS OCCURRED, THEN IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FIX SAID DAMAGES.

FINAL ACCEPTANCE OF INSTALLATION

- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL PLANTED AREAS TO BE FREE OF INSECTS, PESTS AND WEEDS. ANY MOWING, WEEDING, CHEMICAL APPLICATIONS AND WATERING SHALL BE DONE AS REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER OR OWNERS REPRESENTATIVE.
- ANY PRIOR DEFICIENCIES IN THE LANDSCAPE SHALL BE PERFORMED PRIOR TO ACCEPTANCE.
- ONCE THE LANDSCAPE IS ACCEPTED, THE LANDSCAPE CONTRACTOR SHALL BEGIN THE TWELVE (12) MONTH PERIOD FOR TREES, SHRUBBERY AND GROUNDCOVER AND SIX (6) MONTHS FOR SOD AND SHALL REPLACE ANY MATERIAL THAT DIES WITHIN THAT TIME FRAME.

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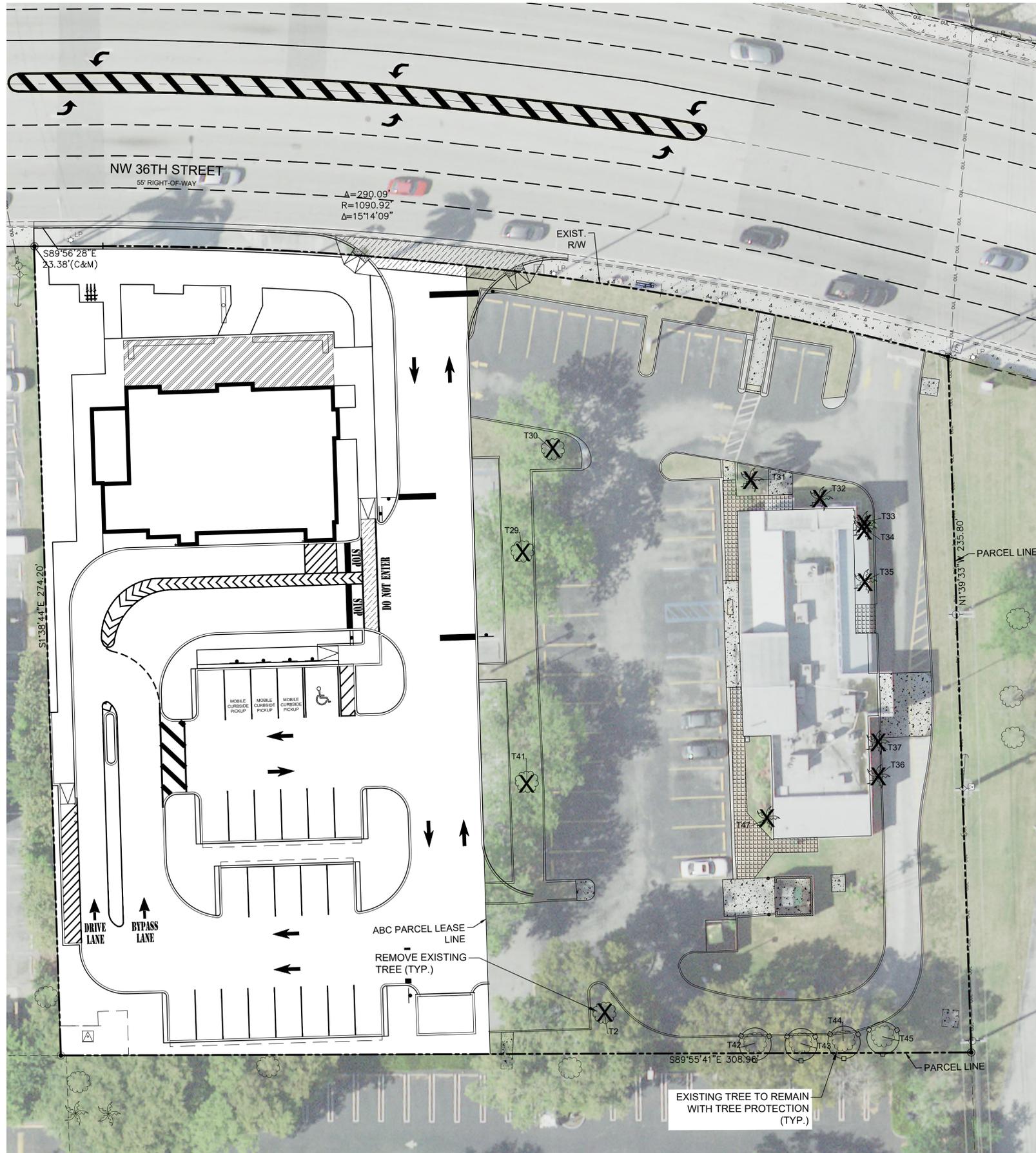
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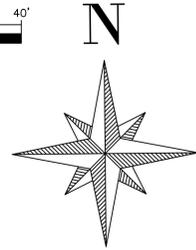
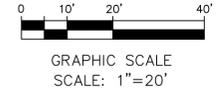
P:\ABC\WS\ABC_Store_054B_Doral\03-Plans\1_054b_Landscape Plan.dwg Ploated: Apr 19, 2023 - 3:13pm by RCalbroth

LANDSCAPE DETAILS, NOTES & SPECIFICATIONS



LEGEND:

- T20  REMOVE EXISTING PALM (with ID#)
- T21  REMOVE EXISTING TREE (with ID#)
- T29  EXISTING TREE TO REMAIN with TREE PROTECTON
-  TREE PROTECTION BARRICADE



TREE TABLE

TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	TREE STATUS
T2	BLACK OLIVE	20	45	30	REMOVE
T29	TREE	20	50	40	REMOVE
T30	TREE	18	45	35	REMOVE
T31	PALM	14	30	15	REMOVE
T32	PALM	4	12	8	REMOVE
T33	PALM	4	12	8	REMOVE
T34	PALM	4	12	8	REMOVE
T35	PALM	4	12	8	REMOVE
T36	PALM	4	12	8	REMOVE
T37	PALM	4	12	8	REMOVE
T41	TREE	24	50	40	REMOVE
T42	MAHOGANY	25	50	35	REMAIN
T43	MAHOGANY	18	25	35	REMAIN
T44	MAHOGANY	18	25	35	REMAIN
T45	TREE	24	35	25	REMAIN
T47	PALM	3	6	5	REMOVE

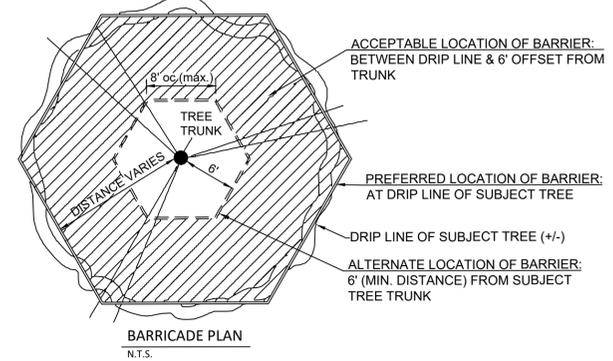
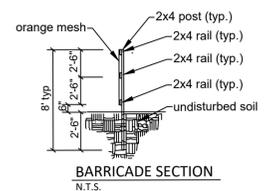
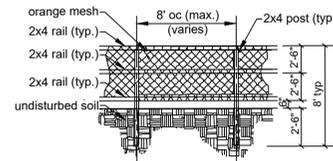
*SPECIMEN CANOPY REMOVED =	4,182 SF
OTHER CANOPY REMOVED =	557 SF
SPECIMEN CANOPY PRESERVED =	3,377 SF (CREDIT)
*TOTAL CANOPY TO BE REPLACED =	5,544 SF
TOTAL REPLACEMENT PROVIDED =	8,400 SF
*SEE SHEET L1 FOR REPLACEMENT TABLE	
*SPECIMEN TO BE REPLACED BY DOUBLE THE CANOPY REMOVED	

NOTES:

- EXISTING TREE INFORMATION SHOWN IN THESE DRAWINGS WERE PROVIDED BY 'ALTA/NSPS LAND TITLE SURVEY' PREPARED BY HADONNE, CORP., DATED DECEMBER 22, 2021.
- PROTECTIVE BARRICADES SHALL BE INSTALLED AT THE PERIMETER OF PRESERVED TREES AT THE COMMENCEMENT OF ANY SITE IMPROVEMENTS AND SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION. BARRICADES SHALL BE HIGHLY VISIBLE WITH BRIGHTLY COLORED ALL-WEATHER MESH MATERIAL OR EQUIVALENT.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES DURING REMOVAL OF TREES AND PALMS UNDER POWER LINES TO INSURE A SAFE WORKING CONDITION. CONTRACTOR SHALL ENGAGE A LICENSED ISA ARBORIST EXPERIENCED WITH WORKING AROUND HIGH VOLTAGE TO SUPERVISE THE REMOVAL WORK.
- CONTRACTOR IS RESPONSIBLE FOR CONSULTING AN ISA CERTIFIED ARBORIST TO PROVIDE WRITTEN DIRECTION AND BE PRESENT AT THE TIME ANY WORK BEING PERFORMED WITHIN THE EXISTING TREE CANOPY LIMITS (CRITICAL ROOT ZONE). CONTRACTOR SHALL HAND EXCAVATE ALL OPERATIONS WITHIN CRITICAL ROOT ZONE TO PREVENT ADVERSE IMPACTS TO THE EXISTING ROOT SYSTEM.

BARRICADE NOTES:

- TREE PROTECTION BARRICADE TO BE ERECTED PRIOR TO COMMENCEMENT OF ANY WORK.
- NO CONSTRUCTION WITHIN BARRICADE WITHOUT PRIOR APPROVAL.
- EXCAVATION (IF APPROVED BY OWNER) WITHIN TREE PROTECTION AREAS IS LIMITED TO HAND TOOLS (NO MACHINERY).



TREE PROTECTION BARRICADE DETAIL

REVISIONS	BY
△ CITY 2ND REVIEW COMMENTS	CKS/JOB
△ CITY 2ND REVIEW COMMENTS	CKS/JOB



JAMES D. BROWN, RLA
FLORIDA #001508

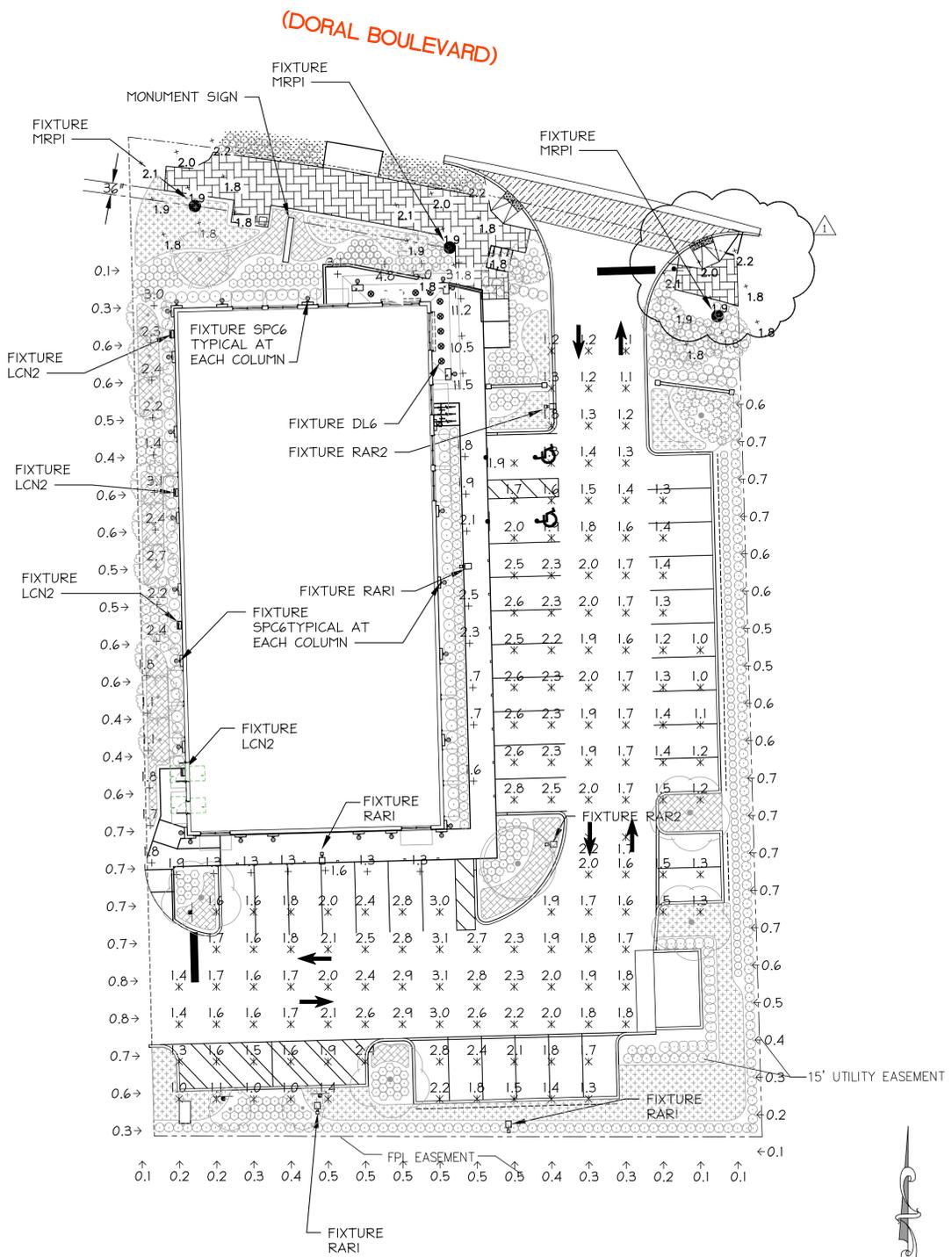


ABC LIQUORS INC.
8989 S. ORANGE AVE. ORLANDO, FL 32824
ABC STORE NO. 54B
8050 NW 36 STREET
DORAL, FL 33166

DRAWN: JDB
CHECKED: JDB
DATE: MAR., 2023
SCALE: 1"=20'(22x34)
SCALE: 1"=40'(11x17)
JOB No: 21-0111.000

SHEET:
T1

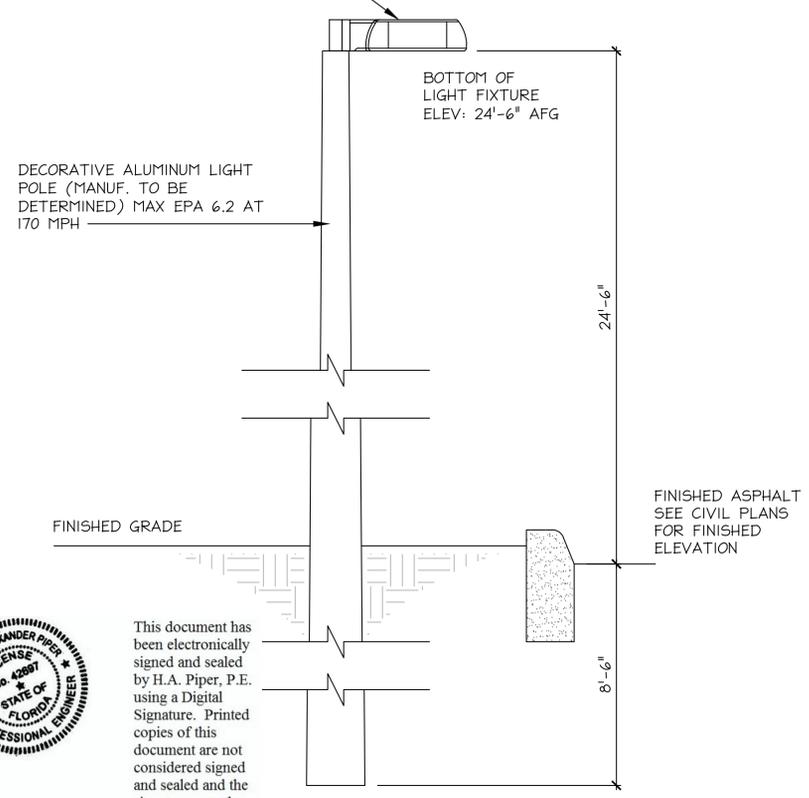
22x34



1 SITE LIGHTING PLAN
SCALE: 1" = 20'-0"

HUBBELL OUTDOOR RARI LED
13.5 LBS, .450 EPA

HUBBELL OUTDOOR RAR2 LED
24.0 LBS, .550 EPA



This document has been electronically signed and sealed by H.A. Piper, P.E. using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

2 SITE LIGHT DETAIL
SCALE: 3/4" = 1'-0"

LUMINAIRE SCHEDULE								
Label	Qty	Manuf	Catalog Number	Description	Lamp	Lumen	LLF	Watt
SPC6	27	Spectrum Lighting	SPC 06 18 U DLE DLE	6" LED - ROUND UP/DOWN CYLINDER	2 LED	360	0.92	18.2
DL6	10	Lithonia Lighting	6" DOWNLIGHT	603 delivered lumens SOFFIT LIGHTS	1 LED	602.83	0.92	15.6
LCN2	4	GE Current	LCN2-48-III	LNC2 Wall Pack w/ 48L Microstrike Type III Lens	1 LED	1116	0.92	10
RARI	4	Hubbell Outdoor	RARI-80L-50-4K7-4W-U	RATIO series led area luminaire with 80 4000k 70 CRI leds and type 4W lens	1 LED	6212	0.92	49.7
RAR2	2	Hubbell Outdoor	RAR2-320L-110-4K7-5 QW-U	RATIO series led area luminaire with 320 4000k 70 CRI leds and type 5QW lens	1 LED	15457	0.92	100.3
MRPI	3	LITHONIA LIGHTING	MRP LED 1-49 B 350 / 40K SR5	MRP LED WITH HLM MODULE, 49 LED's, 350mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 5 LENS. PLACE 3' FROM EDGE OF SIDEWALK, 100' O.C.	1 LED	5217.91	0.92	100

STATISTICS						
	Symbol	Avg	Max	Min	Max / Min	Avg / Min
PARKING	x	1.8 fc	3.1 fc	1.0 fc	3.1:1	1.8:1
SIDEWALK	+	2.9 fc	11.5 fc	1.1 fc	10.5:1	2.6:1
PROPERTY LINE	↑	0.5 fc	0.8 fc	0.0 fc	N/A	N/A

APPLICABLE CODES

Sec. 77-194. - Lighting.

(a) Parking lots of 20 spaces or more that are to be used after dark shall be lighted. The lighting shall not shine directly upon any adjacent residence or street, and shall not produce excessive glare. Commercial lighting shall have glare guards when adjacent to single-family residential units.

(b) A photometric study shall be required as a condition of site plan approval and shall take the proposed landscaping into account when conducting the study.

(c) Trees and foliage shall be logically placed within the landscaped area as not to impede light from reaching the parking stalls and drive aisles. The planting scheme shall incorporate both palms and trees, which mature with medium sized canopies.

(Ord. No. 2007-12, exh. A(ch. IX, §6(k)), 8-22-2007)

ARTICLE XV. - ENERGY-EFFICIENT LIGHTING FOR COMMERCIAL BUILDINGS AND SITES

Sec. 74-876. - LED lighting.
All commercial buildings and associated sites shall utilize LED lighting fixtures for all external lighting.

(Ord. No. 2013-37, §2, 12-3-2014)

DIVISION 3. - STREET, PARKING AND WALK LIGHTING

Sec. 74-466. - Glare.
No glare to the abutting residential shall be allowed due to street, parking and walk lighting.

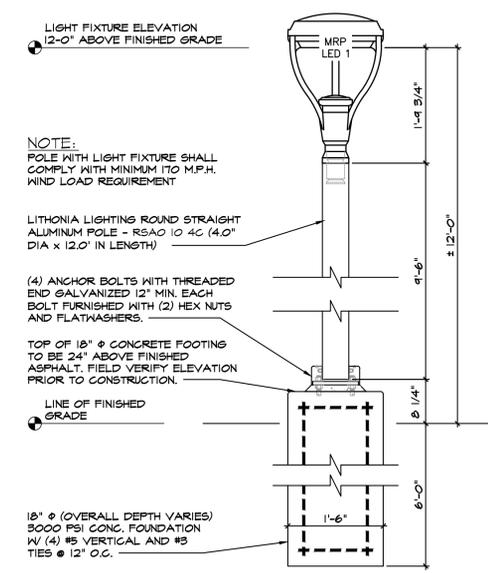
(Ord. No. 2007-12, exh. A(ch. VI, §13(a)), 8-22-2007)

Sec. 74-467. - Photometric study.
Photometric study shall consider proposed foliage for street, parking and walk lighting.

(Ord. No. 2007-12, exh. A(ch. VI, §13(b)), 8-22-2007)

Sec. 74-468. - Agreements to power.
All agreements to power for both public and private streetlights must be in place prior to final plat approval.

(Ord. No. 2007-12, exh. A(ch. VI, §13(c)), 8-22-2007)



3 SITE LIGHTING DETAIL
SCALE: 5/4" = 1'-0"

REVISION	BY
P&Z COMMENTS REVISION 4-18-23	S.R.R.

ALEX PIPER, P.E.
CONSULTING ENGINEER # 42697

VOICE: 407-376-5648
FAX: 866-957-9523
AlexPiper@signal.com

100 Wild Fern Dr.
Longwood, FL 32779

POWER LIGHTING SYSTEMS DATA

ALEX PIPER, P.E.
Registration # 42697

ABC LIQUORS INC.

ABC STORE NO. 054

8050-8080 N.W. 36 ST.
DORAL, FL 33166

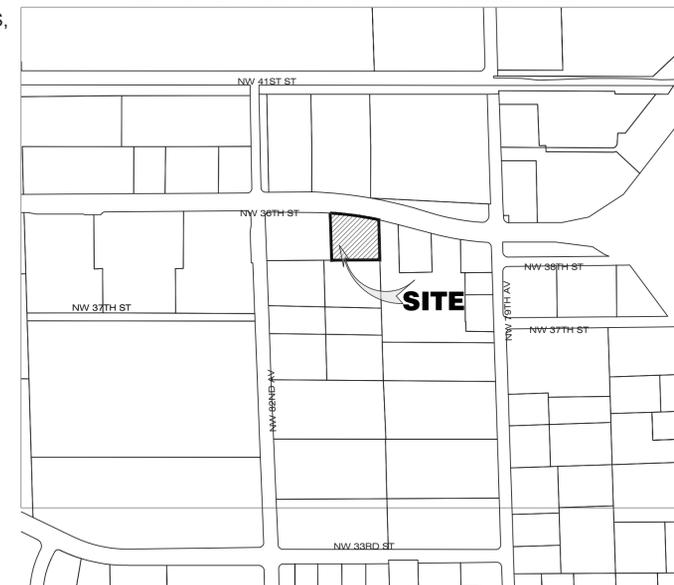
DRAWN: S.R.R.
CHECKED: A.P.
DATE: 03 / 06 / 2023
SCALE: AS NOTED
JOB No: 054

SHEET
SL-1

ALTA/NSPS LAND TITLE SURVEY

A PORTION OF TRACT 14 OF "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION No. 1"
IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 40 EAST, RECORDED IN PLAT BOOK 2, AT PAGE 17, MIAMI-DADE COUNTY RECORDS,
LYING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA

SECTION 27 - TOWNSHIP 53 SOUTH - RANGE 40 EAST



LOCATION MAP
NOT TO SCALE

NOTICE:
This Document is not full and complete without all pages. (Total of Two (2) pages)

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

1. The date of completion of the field work ALTA/NSPS Land Title Survey was on April 06, 2021.
2. The date of completion of the field work Update Survey was on December 22, 2021.

SECTION 2) LEGAL DESCRIPTION:

That portions of the West 1/2 of the Tract 14, "FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1", in Section 27, Township 53 South, Range 40 East, Miami Dade County, Florida, according to the Plat thereof, as recorded in Plat Book 2, at Page 17, of the Public Records of Miami-Dade County, Florida, lying South of Northwest 36 Street Extension Right-of-Way, and lying East of a line 353.16 feet East of and parallel with the West line of the Northeast 1/4 of Section 27.

Property Address and Tax Folio Number:
8050-8080 NW 36th Street Doral, Florida 33166
Folio No. 35-3027-001-0091

SECTION 3) ZONING INFORMATION:

Zoning Designation:
CC (Commercial Corridor District)

(Zoning designation was based upon the City of Doral Planning & Zoning Division)

SECTION 4) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=20') or smaller.

SECTION 5) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Southerly Boundary Line with an assumed bearing of N89°56'56"W, said line to be considered a well established and monumented line.

Plat of "FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1", recorded in Plat Book 2, at Page 17, Public Records of Miami-Dade County Florida.

Plat of "BOYKIN CENTER", recorded in Plat Book 136, at Page 6, Public Records of Miami-Dade County Florida.

Plat of "DORAL EXECUTIVE OFFICE PARK 2ND ADDITION", recorded in Plat Book 123 at Page 86, Public Records of Miami-Dade County Florida.

Plat of "DORAL EXECUTIVE OFFICE PARK SUBDIVISION", recorded in Plat Book 119 at Page 92, Public Records of Miami-Dade County Florida.

Warranty Deed, dated October 24th, 2006, recorded in Official Records Book 25038, Page 0011, Miami-Dade County Records.

This property is to be located in Flood Zone "AH", at Elevation 7.00 feet, as per Federal Emergency Management Agency (FEMA) Community Number 120041 (City of Doral), Map Panel No. 12086C0287, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client, Commitment # 1062-5295258.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929, as per Miami-Dade County's Benchmark Number N-314, Elevation 6.76 feet.

SECTION 6) LIMITATIONS:

Besides the exceptions listed in the Commitment for Title Insurance, Client is hereby advised that there may be additional legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no legal representation as to ownership or possession of the Subject Property by any entity or individual that may appear in the public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 7) STATEMENT OF ENCROACHMENTS:

There are not any visible encroachments in the subject property, other than those shown hereon.

SECTION 8) NOTES CORRESPONDING TO THE TITLE EXCEPTIONS' REVIEW:

SUBJECT TO:

The exceptions of Schedule B-II, File Number: 1062-5295258 and Issuing Office File Number: Landwirth Realty LLC, prepared by FIRST AMERICAN TITLE INSURANCE COMPANY, effective date: April 13, 2021 at 8:00 A.M., and furnished to the undersigned Land Surveyor to show any matter of records affecting the subject property as follows:

Items # 1 through # 8, inclusive, contain general conditions that have been addressed on this Survey Map or falls outside the purview of the Land Surveying profession.

9. Provisions of the Plat of Florida Fruit Lands Company's Subdivision No. 1, recorded in Plat Book 2, Page 17 of the Public Records of MIAMI-DADE County, Florida.
Contains blanket conditions that affects the Subject Property.

10. Reservations unto the State of Florida for canals, cuts, sluice-ways and other works as may be deemed necessary by the Trustees of the Internal Improvement Fund of the State of Florida as contained in Deed recorded in Deed Book 46, Page 240.
Contains blanket conditions that affects the Subject Property.

11. Easement for water mains and sanitary sewers granted to Miami-Dade County by Grant of Easement recorded in O.R. Book 7646, Page 118.
Not affect the Subject Property.

12. Easement for water mains and sanitary sewers granted to Miami-Dade County by Grant of Easement recorded in O.R. Book 8403, Page 276.
Affect the Subject Property as being shown on the Map of Survey.

13. Right-of-Way Deed in favor of Miami-Dade County recorded in O.R. Book 10088, Page 1359, and re-recorded in O.R. Book 10192, Page 1848.
Affect the Subject Property as being shown on the Map of Survey.

14. Agreement to connect to water and sewer system when available and to pay a contribution for such connection recorded in O.R. Book 10212, Page 632.
Contains blanket conditions that affects the Subject Property.

15. Unity of Title recorded in O.R. Book 12056, Page 1378.
Contains blanket conditions that affects the Subject Property.

16. Agreement for construction of Water Facilities and for provision of Water Services recorded in O.R. Book 12090, 1550.
Contains blanket conditions that affects the Subject Property.

17. Agreement for construction of Sewer Facilities and for disposal services recorded in O.R. Book 12090, 1550.
Contains blanket conditions that affects the Subject Property.

18. Unity of Title recorded in O.R. Book 12094, Page 1929.
Contains blanket conditions that affects the Subject Property.

19. Declaration of Restrictive Covenants recorded in O.R. Book 12120, Page 2583.
Contains blanket conditions that affects the Subject Property.

20. Grant of Utility Easement in favor of Prime Hospitality Corp. and Richter Developments, Ltd. recorded in O.R. Book 16697, Page 4435, as subsequently re-recorded in O.R. Book 16708, Page 3314, as there after amended by instrument recorded in O.R. Book 18347, Page 1005.
Contains blanket conditions that affects the Subject Property.

21. Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 16746, Page 3091.
Affect the Subject Property as being shown on the Map of Survey.

22. Easement for Sanitary Sewer construction recorded in O.R. Book 17944, Page 1003.
Affect the Subject Property as being shown on the Map of Survey.

23. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
Contains blanket conditions that affects the Subject Property.

24. Survey prepared by Hadonne Land Surveyor and Mappers, dated April 27, 2021, under Job No. 21032, shows the following:

1. Two single story CBS structures with shared parking;
2. Numerous catch basins are shown within the driving areas and parking areas with no reference to any easement providing for basins or drains;
3. a sod berm in the approximate center of the parking area divides the parking for the two buildings;
4. a utility easement and water and sewer easement are shown in the northeast corner of the property within the entrance driveway and 4 parking spaces;
5. FPL Easement runs underneath an asphalt driveway and parking area along the South property line.
6. No encroachments are found.

NOTE: All of the recording information contained herein refers to the Public Records of MIAMI-DADE County, Florida, unless otherwise indicated. Any reference herein to a Book and Page or Instrument Number is a reference to the Official Record Books of said county, unless indicated to the contrary.

SECTION 9) SURVEYOR'S CERTIFICATE:

Certify to:

- Landwirth Realty, LLC and its successors and/or assigns.
- First American Title Insurance Company
- Law Offices of Paul A. Lester, P.A.

(i) This map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a) As provided by the Miami Dade Zoning information, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 16, 17, 18 and 20 of Table A thereof. The field work was completed on April 6, 2021.

(ii) This survey correctly shows the location of all buildings, structures and other improvements situated on the above premises. There are no visible encroachments on the subject property or upon adjacent land abutting the property except as shown hereon. This Survey was made in accordance with laws and/or the Standards of Practice of the State of Florida.

(iii) The subject property is the same as the property described in the Schedule "A" of the Title Commitment cited on Section 8 of this Surveyor's Report. I have plotted all easements, covenants and restrictions referenced in the Title Search Report and Hadonne Corp.'s search efforts and I have otherwise noted their effect on the subject property.

(iv) The Subject property is located within an area having a Zone Designation "AH", base flood Elevation 7.00 ft, by The Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map. No. 12086C0287, Suffix L, with a date of identification of September 11, 2009, for Community No. 120041 (City of Doral), in Miami-Dade County, State of Florida, which is the current Flood Insurance Rate Map for the Community in which the Subject property is situated.

(v) The subject property has direct access to NW 36th Street a dedicated public road.

(vi) There is no observed evidence of current earth moving work, building construction or building additions on the Subject Property.

(vii) There is no observed evidence of changes in street right of way lines or recent street or sidewalk construction.

(viii) There is no observed evidence on the Subject Site to be used as a solid waste dump, sump or sanitary landfill.

(ix) There is no observed evidence of Wetlands in the Subject Site.

The survey was also made in accordance with the Standards of Practice set forth by the Florida Board of Surveyors and Mappers pursuant to Section 472.027 of the Florida Statutes and Chapter 5J-17.051 through 5J-17.052 of the Florida Administrative Code. The easements and other recorded data shown herein were obtained from the Title Commitment.

Abraham Hadad, PSM
For the Firm
Registered Surveyor and Mapper LS6006
State of Florida
HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097
1985 NW 88th Court, Suite 101
Doral, Florida 33172
Phone: 305.266.1188
Fax: 305.207.6845

NOTICE: Not valid without the original signature and seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

LAND SURVEYOR AND MAPPERS
3D LASER SCANNING
UTILITY COORDINATION
SUBSURFACE UTILITY ENGINEERING
1985 NW 88th Court, Suite 101 - Doral, FL 33172 - P. +1(305)266-1188 - F. +1(305)207-6845 - W. www.hadonne.com

HADONNE

ALTA/ACSM LAND TITLE SURVEY
for
Landwirth Realty LLC
of
8050-8080, NW 36th Street, Doral Florida 33166

REVISIONS	6.	7.	8.	9.	10.
1. Update Survey 12-22-2021					

Field Book
FILE
DRAWN BY:
JA
TECH BY:
RI
QA/QC BY:
JS

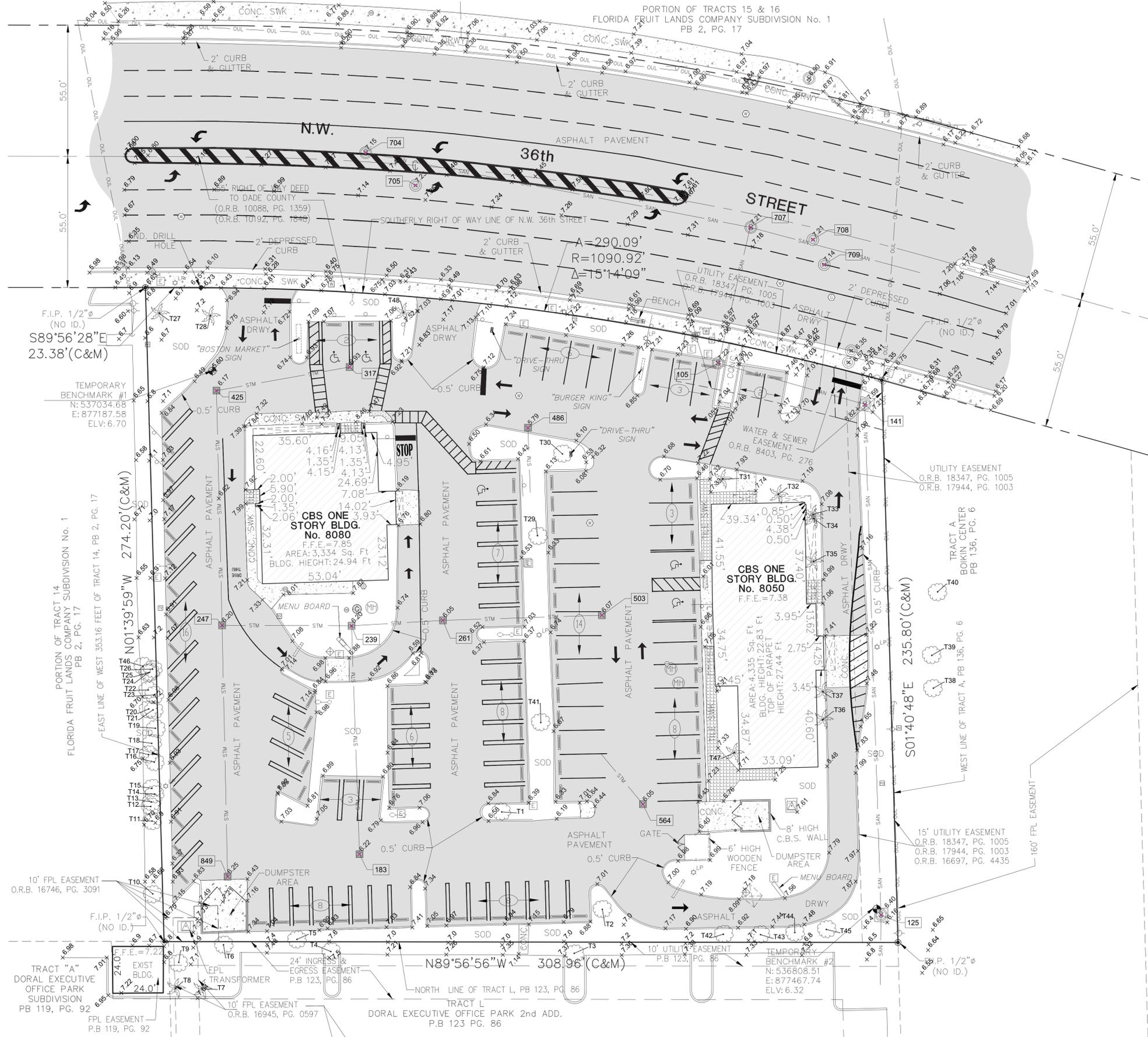
Job No:
21032

ALTA/NSPS LAND TITLE SURVEY

PORTION OF TRACTS 15 & 16
FLORIDA FRUIT LANDS COMPANY SUBDIVISION No. 1
PB 2, PG. 17

A PORTION OF THE NE 1/4 OF SECTION 27, TOWNSHIP 53 SOUTH, RANGE 40 EAST
CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA.

PORTION OF TRACTS 15 & 16
FLORIDA FRUIT LANDS COMPANY SUBDIVISION No. 1
PB 2, PG. 17



LEGEND

SYMBOL	DESCRIPTION
○	FOUND IRON REBAR
●	FOUND IRON PIPE WITH CAP
—	PROPERTY LINE
R/W	RIGHT-OF-WAY
CS	CONCRETE BLOCK STUCCO
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
PB	PLAT BOOK
PG	PAGE
F.N.D.	FOUND NAIL & DISK
○	NUMBER OF PARKING SPACES
O.R.B.	OFFICIAL RECORD BOOK
T.O.P.	TOP OF PIPE
SWK	SIDEWALK
P.O.B.	POINT OF BEGINNING
N.T.S.	NOT TO SCALE
T.B.M.	TEMPORARY BENCH MARK
F.F.E.	FINISH FLOOR ELEVATION
S.I.R.	SET IRON REBAR
F.D.H.	FOUND DRILL HOLE
F.I.P.	FOUND IRON PIPE
F.I.R.	FOUND IRON REBAR
○	CATCH BASIN
□	COMMUNICATION BOX
○	FIRE HYDRANT
○	DRAINAGE CURB INLET
○	TV CABLE BOX
○	FIBER OPTIC CABLE BOX
○	PEDESTRIAN SIGNAL
○	ELECTRIC UTILITY BOX
○	LIGHT POLE
○	GUY ANCHOR
○	WATER METER
○	WATER VALVE
○	GREASE-TRAP MANHOLE
○	SANITARY SEWER CLEAN-OUT
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER VALVE
○	MANHOLE UNKNOWN
○	DRAINAGE MANHOLE
○	SIGNAL MAST ARM
○	INTERCOM
○	POST
○	SIGN
○	GAS VALVE
○	CONCRETE UTILITY POLE
○	QUADRAL
○	FPL TRANSFORMER
○	WOOD UTILITY POLE
○	IRRIGATION VALVE
○	UTILITY STRUCTURE NUMBER
○	CBS WALL
○	WOOD FENCE
○	IRON FENCE
○	IRON ROLLING GATE
○	IRON SWING GATE
○	CHAIN-LINK FENCE
○	CHAIN-LINK ROLLING GATE
○	CHAIN-LINK SWING GATE
○	FENCE_OTHER
○	TREE
○	PINE TREE
○	PALM TREE
○	PROPERTY LINE
○	RIGHT-WAY LINE
○	EASEMENT LINE
○	X-UTL-DRAIN
○	X-UTL-SANIT
○	OVERHEAD UTILITY LINE
○	EXISTING ELEVATION
○	GRAVEL
○	BRICK
○	BUILDING HATCH
○	CONCRETE
○	TILE
○	ASPHALT PAVEMENT
○	HANDICAP TACTILE STRIP

UTILITY STRUCTURES TABLE

NO.	STRUCTURE	RIM	DIRECTION	INVERT	DESCRIPTION
105	MHS	7.22	N	-2.38	8" CLAY
			E	-2.08	8" CLAY
			S	-0.50	8" CLAY
125	MHS	6.40	N	-0.50	8" CLAY
			S	-0.25	8" CLAY
141	MHS	7.59	S	-1.66	8" CLAY
			W	-1.83	8" CLAY
			N	3.42	15" ALUMINIUM
183	CB	6.22	N	1.47	15" ALUMINIUM
			BOTTOM	1.47	
239	CB	6.20	CAN'T OPEN, PARTIALLY BURIED IN GROUND		
247	CB	6.20	N	3.15	15" ALUMINIUM
			E	3.25	15" ALUMINIUM
			S	-----	BAFFLE
			BOTTOM	-0.65	
261	CB	6.05	E	3.70	15" ALUMINIUM
			W	3.60	15" ALUMINIUM
			BOTTOM	1.50	
317	CB	6.93	W	3.43	15" ALUMINIUM
			BOTTOM	0.88	
425	CB	6.17	E	-----	BAFFLE
			S	-----	BAFFLE
			BOTTOM	-0.93	
486	CB	5.79	S	3.19	15" ALUMINIUM
			BOTTOM	2.79	
503	CB	6.07	W	3.70	15" ALUMINIUM
			BOTTOM	3.27	
564	CB	6.05	NW	2.90	12" CONCRETE
			BOTTOM	1.40	
704	MHS	7.15			TRAFFIC
705	MHD	7.23			TRAFFIC
707	MHS	7.21	E	-2.79	TRAFFIC
			S	-2.69	8" CLAY
			W	-2.64	8" CLAY
708	MHD	7.21			TRAFFIC
709	MHD	7.14			TRAFFIC
809	MHS	6.9			TRAFFIC
849	CB	6.25	BOTTOM	-1.10	CAN'T LOCATE ANY PIPES

TREE TABLE

TREE NO	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)
T1	TREE	25	45	40
T2	BLACK OLIVE	20	45	30
T3	BLACK OLIVE	20	45	30
T4	BLACK OLIVE	20	45	30
T5	BLACK OLIVE	20	45	30
T6	BLACK OLIVE	32	50	45
T7	PALM	10	20	10
T8	PALM	10	20	10
T9	TREE	8	25	15
T10	SEAGRAPE	4	12	8
T11	SEAGRAPE	14	25	20
T12	SEAGRAPE	8	20	12
T13	SEAGRAPE	8	20	12
T14	SEAGRAPE	8	20	12
T15	SEAGRAPE	8	20	12
T16	SEAGRAPE	8	20	12
T17	SEAGRAPE	8	20	12
T18	SEAGRAPE	8	20	12
T19	SEAGRAPE	8	20	12
T20	SEAGRAPE	8	20	12
T21	SEAGRAPE	8	20	12
T22	SEAGRAPE	8	20	12
T23	SEAGRAPE	8	20	12
T24	SEAGRAPE	8	20	12
T25	SEAGRAPE	8	20	12
T26	SEAGRAPE	8	20	12
T27	ROYAL PALM	18	50	15
T28	ROYAL PALM	18	40	15
T29	TREE	20	50	40
T30	TREE	18	45	35
T31	PALM	14	30	15
T32	PALM	4	12	8
T33	PALM	4	12	8
T34	PALM	4	12	8
T35	PALM	4	12	8
T36	PALM	4	12	8
T37	PALM	4	12	8
T38	TREE	8	15	12
T39	TREE	8	15	12
T40	OAK	12	25	20
T41	TREE	24	50	40
T42	MAHOGANY	25	50	35
T43	MAHOGANY	18	25	35
T44	MAHOGANY	18	25	35
T45	TREE	24	35	25
T46	SEAGRAPE	15	20	15
T47	PALM	3	6	5
T48	ROYAL PALM	18	40	15

NOTICE:
This Document is not full and complete without all pages. (Total of Two (2) pages)

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REVISIONS

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